

**AGENDA**  
**City of Hobbs Planning Board – Regular Meeting**  
**August 16, 2022 at 10:00 AM**

**W.M. “Tres” Hicks, Chairman**  
**Bill Ramirez**  
**Brett Drennan**  
**Larry Sanderson**

**Guy Kesner, Vice Chairman**  
**Ben Donahue**  
**Brett Clay**

**Tentative Agenda for the Planning Board Regular Session Meeting to be held on Tuesday, August 16, 2022 at 10:00 AM, at the City of Hobbs Annex Building, First Floor Commission Chambers located at 200 E. Broadway, Hobbs, NM 88240.**

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**AGENDA**

**Call To Order and Roll Call.**

- 1) Review and Consider Approval of Agenda.**
- 2) Review and Consider Approval of Minutes.**

**July 19, 2022 – Regular Meeting**

**Communications from Citizens. (3-minute limit per citizen)**

**ACTION ITEMS**

- 3) Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located Southeast of the intersection of Navajo and Fowler at 301 E. Navajo.**
- 4) Review and Consider the Vacation of a portion of Roxanna Street, Skelly Street and the east\west alleyways within Block 31, 44 and 47 of the Humble City Subdivision located within the City of Hobbs ETJ.**
- 5) Review and Consider Preliminary Plan for The Subdivision of Lots 3, 4, 11 and 12, Block 1 of the Azotea Subdivision, as submitted by property owner, Host, LLC.**
- 6) Review and Consider NDEY Subdivision, Unit 1 Final Plat Approval, as presented by property owner Maria Ndey.**
- 7) Review and Consider Final Plat Approval Westminster Hollow, Third Village, as presented by property owner, Del Norte Heights, Inc..**
- 8) Review and Consider Variance Request from MC 15.32.030 - C(2) allowing a new facade sign to be emplaced with a sign face in excess of 144 square feet at 5440 A Street.**

**August 16, 2021  
Planning Board Regular Meeting**

- 9) **Review and Consider a front yard fence height variance for 205 E. Navajo. Navajo at this location is classified as a Major Arterial and exceeds the required ROW width of 110'. The COHMTP requires a 25' front yard setback for fences on a Major Arterial, the new Fence is proposed to be a 6' Cedar Picket Fence located at the PL (+/-36' from BOC).**

**DISCUSSION ITEMS**

- 10) **Review proposed Ordinance to prohibit on street parking of commercial vehicles.**

**Adjournment.**

**The City will make every effort to provide reasonable accommodations for people with disabilities who wish to attend a public meeting. Please notify the City at least 24 hours before the meeting. Telephone 397-9232.**

*"Notice is hereby given that a quorum of the Hobbs City Commission may be in attendance at this meeting."*

## PLANNING BOARD MEETING

### MINUTES July 19, 2022

The Hobbs Planning Board met on July 19, 2022, at 10:00 a.m. at the City of Hobbs Annex Building, First Floor Commission Chambers, located at 200 E. Broadway, Hobbs, NM 88240 with Mr. W.M. “Tres” Hicks, Chairman, presiding.

#### Members Present:

W.M. “Tres” Hicks, Chairman (*attended at 10:05*)  
Larry Sanderson  
Brett Clay  
Ben Donahue  
Bill Ramirez

#### Members Absent

Guy Kesner, Vice Chairman  
Brett Drennan

Also present were members of the public and City staff as follows:

Todd Randall, City Engineer  
Anthony Henry, Deputy Engineer  
Dwayne Penick, City Commissioner  
5 Citizens

Kevin Robinson, Development Director  
April Hargrove, Engineering Assistant  
Valerie Chacon, Deputy City Attorney

#### Call to Order and Roll Call

Mr. Rill Ramirez, Planning Board member, did a roll call for members as follows:

Mr. Ramirez-yes, Mr. Sanderson-yes, Mr. Kesner-absent, Mr. Drennan-absent, Mr. Clay-yes, Mr. Donahue-yes, and Mr. Hicks-yes. There were five members present at the meeting.

Mr. Ramirez called the meeting to order at 10:00 am.

#### 1.) Review and Consider Approval of Agenda

The first item of business was to review and approve the agenda for July 19, 2022 meeting. Mr. Ramirez asked if there were any additions or changes to the agenda. Mr. Robinson stated he would like to switch items 4 and 6 of the agenda. Mr. Donahue made a motion, seconded by Mr. Sanderson to approve the agenda as amended. The vote on the motion was 4-0 and the motion carried.

#### 2.) Review and Consider Approval of Minutes

Mr. Ramirez asked if everyone has had a chance to read the Regular Meeting Minutes from June 22, 2022. Mr. Donahue made a motion, seconded by Mr. Sanderson to approve the Regular Meeting Minutes as presented. The vote was recorded as follows: Ramirez yes, Sanderson yes, Clay yes, Donahue yes. The vote on the motion was 4-0 and the motion carried.

### Communications from Citizens

There were no communications from citizens.

### Action Items

- 3) **Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located Southeast of the intersection of Navajo and Fowler at 301 E. Navajo.**

Mr. Robinson stated this is a public hearing to review and consider a special use map amendment to create a Recreational Vehicle Park (RVP) located southeast of the intersection of Navajo and Fowler at 301 E. Navajo. He explained the first step of the process of approving the Recreational Vehicle Park (RVP) is to make sure the site is compliant with Municipal Code 18.04 and for the Board to consider if it is a good location for an RV Park. He reminded the Planning Board that there has been an RV Park approved at 500 E. Navajo, but has not yet been developed. Mr. Robinson explained the main requirements are that the site has to be accessible from a collector street (or above) and the site has to be at least one acre or more property.

Mr. Ramirez opened the public meeting at 10:05 a.m.

Mr. Michael M. Mings stated he resides across the street from the location of the proposed RV Park. Mr. Mings addressed several comments to the Planning Board members. He stated he is not against an RV Park, but he is not in favor of a Mobile Home Park at that site. Mr. Mings expressed his concern regarding the traffic and stated there is enormous traffic from Fowler and Navajo to the Lovington Highway. Mr. Mings stated he is in the process of requesting a variance for a 6 feet red wood cedar fence to be placed in front of his home to help with the noise of the traffic. Mr. Mings further expressed his concerns regarding the extra traffic the RV Park could create. He stated the more businesses that come in the busier it gets. He is concerned about potential accidents at the intersection.

Mr. Dwayne Penick stated that he has spoken to the Executive Director of Habitat for Humanity, Richard Sanchez, and explained the RV Park is planned for volunteers coming in to help construct houses.

Mr. Hicks commented on the location of the RV park and stated he would like for the park to be limited to the south half of the property.

Mr. Larry Sanderson, Planning Board member, stated there are a lot of RV spaces around the area with a lot of empty spaces, what's the need to create another park.

Mr. Robinson explained we are a use by right community and have the right to utilize your property as you see fit providing you are compliant with Municipal Code 18.04. Mr. Robinson echoed the first step is for the Planning Board to consider if the site is compliant with the rules and regulations. The second step is to review and consider the design standards.

Mr. Brett Clay, Planning Board member, expressed his concern regarding the visibility of the RV Park. He stated he did not want an RV park to be visible from the street.

Mr. Sanderson made a motion, seconded by Mr. Clay to deny the Special Use Map Amendment to create a Recreational Vehicle Park. Mr. Sanderson stated he would like staff to communicate the concerns with the owner and bring the plans back to the Planning Board once the concerns have been addressed. Additionally, he would like more detailed information about the RV Park. The vote on the motion was 5-0 and the motion carried. The public meeting adjourned at 10:47 a.m.

**6) Review and Consider Preliminary Plan for The Bender Trails Subdivision, as submitted by property owner, Nadeem Kassis.**

Mr. Kevin Robinson stated this is the preliminary plan for the Bender Trails Subdivision, submitted by the property owner, Nadeem Kassis. Mr. Robinson stated the engineering plans set have been submitted to the municipality.

Mr. Todd Randall, City Engineer, stated City staff has reviewed the plans but has not made final comments. He stated there may be minor modifications to the drainage. Mr. Randall stated a portion of this development will drain into a privately-owned detention pond. The engineer, Mr. Jeremy Baker, discussed the drainage plans for the Bender Trails Subdivision. Mr. Randall commented on the slopes of the drainage. Mr. Randall stated this is conditional and will need to be resubmitted for final comments from City staff and the Utilities Department.

In response to Mr. Ramirez's question, Mr. Randall stated they are proposing for all underground utilities.

Mr. Sanderson made a motion with the condition to resolve any City staff comments, seconded by Mr. Donahue. The vote on the motion was 5-0 and the motion carried.

**4) Review and Consider a front yard fence height variance for 4401 W. Business Park Boulevard. Business Park at this location is classified as a Minor Arterial and between Lovington Highway and Millen either meets or exceeds the required ROW width of 110'. The COHMTP requires a 25' front yard setback for fences on a Minor Arterial, the new Fence is proposed to be a 6' solid wall R-Panel Fence located at the PL (25' from BOC).**

Mr. Robinson stated this is a request for a front yard fence height variance for 4401 W. Business Park Boulevard. Mr. Robinson stated this is an existing fence that has been in place prior to the adopted rules and regulations. He stated Business Park Boulevard location is classified as a minor arterial and between Lovington Highway and Millen either meets or exceeds the required right-of-way width of 110'. The City of Hobbs Major Thoroughfare Plan requires a 25' front yard setback for fences on a minor arterial road. Mr. Robinson stated the new fence is proposed to be a 6' solid wall R-panel fence located at the PL (25' from BOC).

In response to Mr. Hicks's question, Mr. Robinson stated the County wants to place a solid wall R-panel fence due to the type of usage of the Lea County Convenience Center. They want to restrict the visibility from the roadway.

Mr. Ramirez made a motion to approve the variance, seconded by Mr. Sanderson. The vote on the motion was 5-0 and the motion carried.

**5) Review and Consider Dedication Plats for properties located east of 1101 W. Joe Harvey.**

Mr. Robinson stated these are the dedication plats for properties located east of 1101 W. Joe Harvey. Mr. Robinson stated the municipality has granted preliminary plat approval for Centre Point Subdivision. Mr. Robinson explained the dedication plat will make the private roadway into a public roadway. He stated the infrastructure is public infrastructure granted with an easement. Mr. Robinson explained everything within the dedication will become public property and will be required to be maintained by the municipality. In response to Mr. Hicks's question, Mr. Robinson stated the preliminary plat for the Centre Point Subdivision was approved with the comment that the property located east of 1101 W. Joe Harvey be dedicated to the municipality and become public property.

Mr. Ramirez made a motion, seconded by Mr. Donahue to approve the dedication plat as presented. The vote on the motion was 5-0 and the motion carried.

**Discussion/Updates**

None

**Adjournment**

With nothing further to discuss Mr. Sanderson made a motion, seconded by Mr. Ramirez to adjourn. The meeting adjourned at 11:07 am. The vote on the motion was 5-0 and the motion carried.

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W.M. "Tres" Hicks, Chairman

**August 16, 2021**  
**Planning Board Regular Meeting**

- 3) **Public Hearing to Review and Consider a Special Use Map Amendment to create a Recreational Vehicle Park (RVP) Planning District per MC 18.04, located Southeast of the intersection of Navajo and Fowler at 301 E. Navajo.**

# PROPOSAL FOR A RV PARK FOR VOLUNTEERS

01 March 2022

Presented to:

Kevin Robinson

City of Hobbs

Submitted by:

Richard Sanchez

Habitat for Humanity of Hobbs, NM Area

301 E. Navajo Dr.

P.O. Box 5833

Hobbs, NM 88241-5833

575-390-5475

## PROPOSAL FOR A RV PARK FOR VOLUNTEERS

### Table of Contents

- I. Development Summary
- II. Design Narrative
- III. Development Team Experience
- IV. Mission
- V. Verification of – all is true

### Attachments

- A. Project Plan
- B. Board of Directors
- C. Organizational Chart
- D. Documentation that the Applicant is duly organized under State law

PROPOSAL FOR A RV PARK FOR VOLUNTEERS

Development Summary

Habitat for Humanity is proposing to develop a RV park for traveling volunteers called Care-A-Vanners.

Habitat for Humanity International's RV Care-A-Vanners come to Hobbs, New Mexico for 9 months out of the year to assist local families in need of an affordable home. In partnership with our Habitat affiliate, care-a-vanners will be here for two weeks at a time, helping construct a Habitat home located in Hobbs. The RV Care-A-Vanner Program, which is coordinated through HFHI Headquarters in Americus, Georgia, matches volunteers who travel in recreational vehicles with local Habitat affiliates in need of skilled volunteer support. The RV Care-A-Vanners camp in their RVs while working shoulder to shoulder with the local Habitat staff, local volunteers, and future Habitat homeowners.

RV Care-A-Vanners come from all over North America and from all walks of life—doctors, lawyers, engineers, corporate managers, mechanics, truck drivers, carpenters, plumbers, electricians, etc. The majority being near or at retirement age, their construction skills range from professional to first-time builder. The RV Care-A-Vanners, who typically stay for two weeks, pay their own expenses to travel to these organized Habitat building projects. Drawing from a pool of more than 6,000 volunteers, this year teams of RV Care-A-Vanners are participating in 250 building projects from Canada to Florida and California to Maine.

Habitat for Humanity of Hobbs is a very popular destination spot for Care-A-Vanners. We provide them a RV spot, free of charge. Also, our board is very generous in providing meals and many different outlets of entertainment. Habitat for Humanity's ministry is built around providing low-income housing, so we share the city's commitment in helping the city to alleviate the shortfall of low-income housing.

This RV Park will allow us to continue to build low-income housing.

PROPOSAL FOR A RV PARK FOR VOLUNTEERS

II. Design Narrative

The RV Park will consist of ten spaces that will comply with all city ordinances and by-laws. Each space will be 35 feet wide by 70 feet deep, for each recreational vehicle. This will consist of two rows of five spaces each, covering an area 175 foot wide by 140 deep. This parking area will be 460 feet away from Navajo Dr., situated behind the Restore and Shop. There will be a required buffer of thirty feet off the western property line we share with the Sorrento Apartments. We will place our mobile office in the northeastern space to utilize as a guard house and laundry facility. There has been a fence erected around this area.

These spaces will each be served by city water, sewer, and Xcel electrical power which will meet all building codes required of an RV Park. This area has irrigation lines in place, and we would like it to have a park like setting, with trees and grass in the near future.

This park will not be open to the public. It will be for volunteers at Habitat for Humanity of Hobbs.

PROPOSAL FOR A RV PARK FOR VOLUNTEERS

III. Development Team Experience

Developer – Habitat for Humanity of Hobbs, New Mexico Area

Habitat for Humanity is a global nonprofit housing organization working in local communities across all fifty states in the U.S. and in approximately seventy countries. Habitat's vision is of a world where everyone has a decent place to live.

Habitat works toward our vision by building strength, stability, and self-reliance in partnership with families in need of decent and affordable housing. Habitat homeowners help build their own homes alongside volunteers and pay an affordable mortgage.

Habitat for Humanity of Hobbs New Mexico Area was established in Hobbs, NM in 1998, to conduct business as a non-profit corporation in the State of New Mexico. Habitat of Hobbs obtained tax exempt status in 1999 when they were granted affiliate status by Habitat for Humanity International (HfHI). Habitat of Hobbs completed their first home in July of 2000. Our Habitat has built fifty-one homes and has rehabilitated three since its inception. We are currently working on homes 52-59. Habitat for Humanity of Hobbs primarily focuses on new residential construction for low-income families.

Habitat for Humanity of Hobbs has the capacity and capability to build low this RV park in compliance with City Building Codes and all City Development Regulations and policies; and ability to perform this work project in a timely manner.

Pettigrew and Associates had the lowest bid and will be the engineering group we will hire for the design, testing, and certification process. This design process was not done without the input of City of Hobbs personnel, especially Kevin Robinson and Todd Randall.

The Executive Director of Habitat for Humanity of Hobbs, NM Area will be responsible for the making sure Habitat, as the grantee complies with all applicable federal and state laws, rules, and regulations pertaining to this project.

PROPOSAL FOR A RV PARK FOR VOLUNTEERS

**Our mission**

Seeking to put God's love into action, Habitat for Humanity brings people together to build homes, communities, and hope.

**Our vision**

A world where everyone has a decent place to live.

**Our principles**

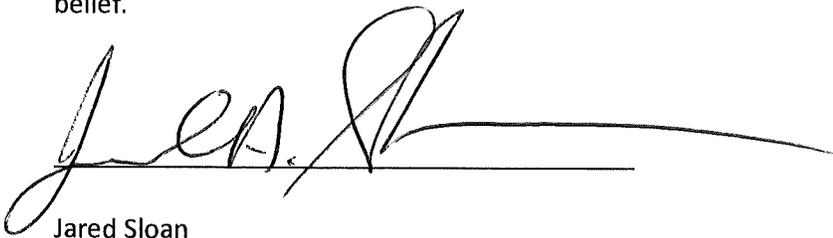
1. Demonstrate the love of Jesus Christ.
2. Focus on shelter.
3. Advocate for affordable housing.
4. Promote dignity and hope.
5. Support sustainable and transformative development.

**Non-proselytizing policy**

Habitat for Humanity and its affiliate organizations will not proselytize. Nor will Habitat work with entities or individuals who insist on proselytizing as part of their work with Habitat. This means that Habitat will not offer assistance on the expressed or implied condition that people must adhere to or convert to a particular faith or listen and respond to messaging designed to induce conversion to a particular faith.

PROPOSAL FOR A RV PARK FOR VOLUNTEERS

All information provided is true and correct to the best of the applicant's information, knowledge, and belief.

A handwritten signature in black ink, appearing to read "Jared Sloan", is written over a horizontal line. The signature is stylized and cursive.

Jared Sloan

Habitat for Humanity of Hobbs, New Mexico Area

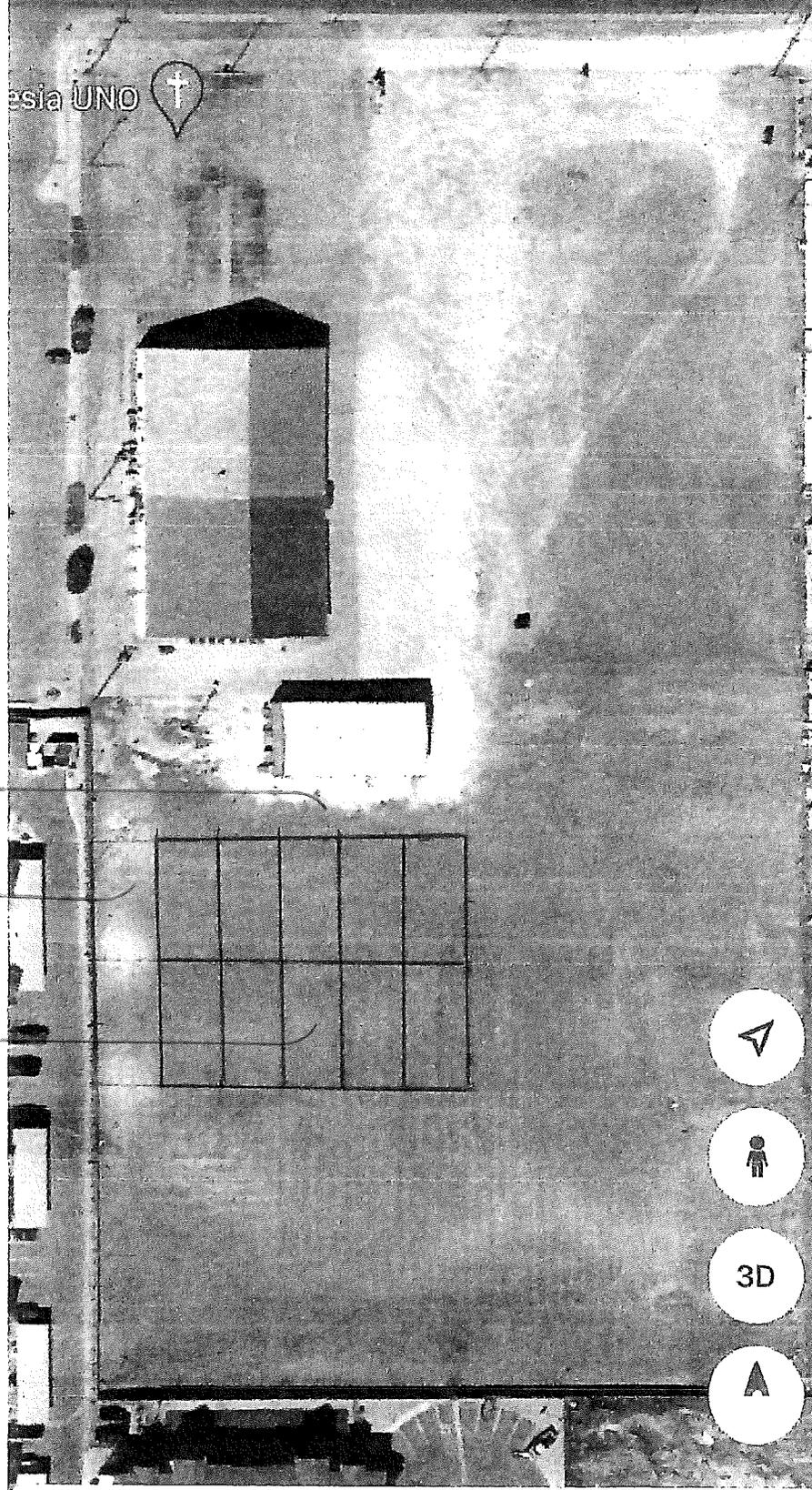
Board President

10:12

Search

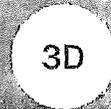


esia UNO



30' SET  
BANK

35' x 70'



Google (32°44'20"N 103°08'03"W) 5,212 ft



## ***PLANNING BOARD***

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200 E. Broadway St.  
Hobbs, NM 88240

575-397-9351 bus  
575- 397-9227 fax

, ***New Mexico***

August 1, 2022

**RE: REQUEST TO AMEND THE PLANNING DISTRICT MAP -- SPECIAL USE PERMIT PROPOSED ALLOWING A RECREATIONAL VEHICLE PARK TO BE LOCATED AT 301 E. NAVAJO.**

Dear Property Owner:

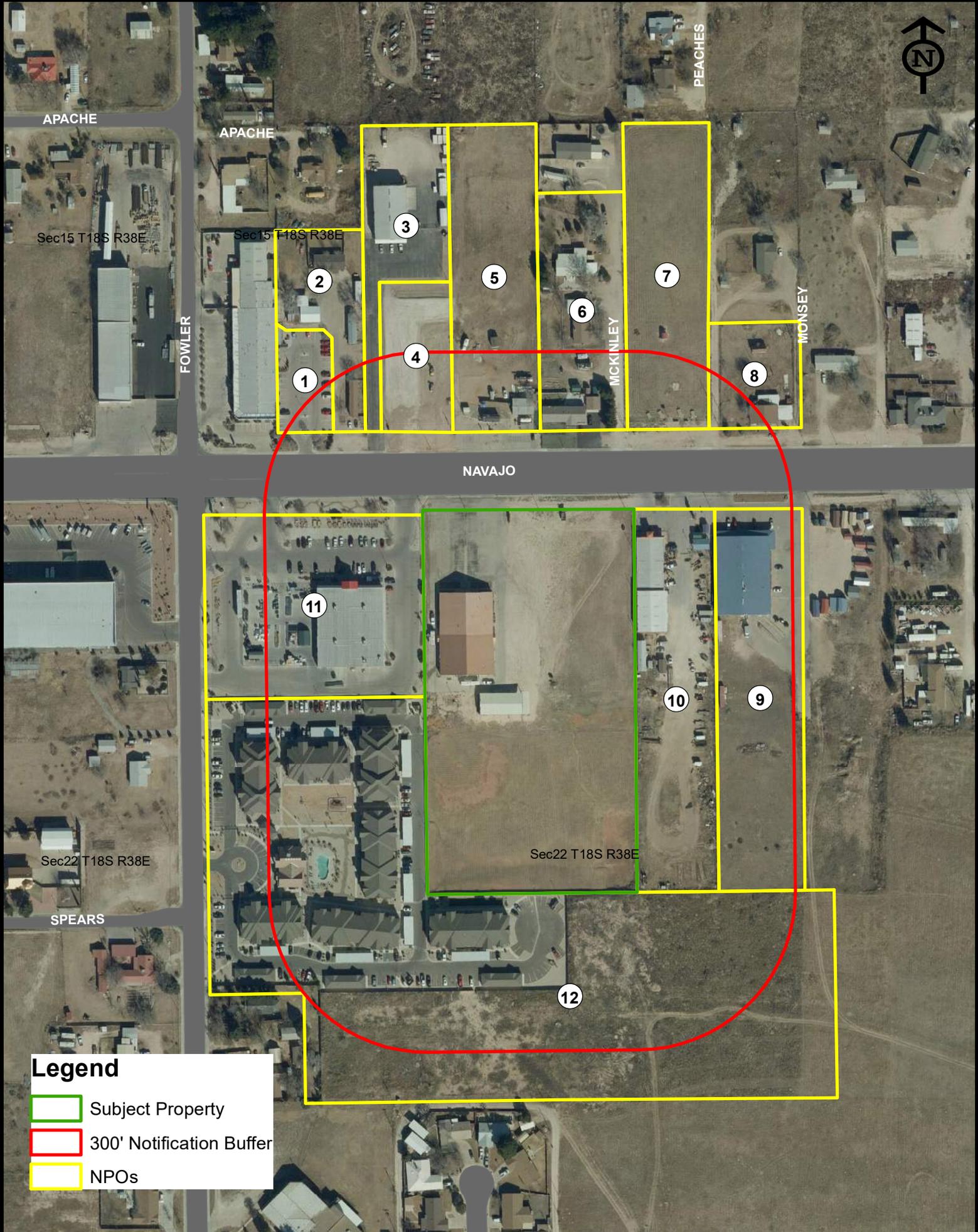
The City of Hobbs has received a request to amend the Planning District Map and issue a special use permit to allow a proposed Mobile Home Park on the 6.7 +/- acre parcel located at 301 E. Navajo (see attached map). As a property owner you are being notified of the developer's intent to construct a Recreation Vehicle Park on the aforementioned parcel. The City Planning Board will be reviewing this issue on August 16, 2022, on the first floor of the City Annex Building at 200 E. Broadway, at 10:00 a.m., in the City of Hobbs Commission Chambers. This notice is being sent to you as a property owner within the notification boundaries per Municipal Code 18.04, requiring notification of district map amendments and special use permits.

If you have questions, or comments, please notify the City Planning Division at the above address, or call the office at (575)397-9232.

Sincerely,

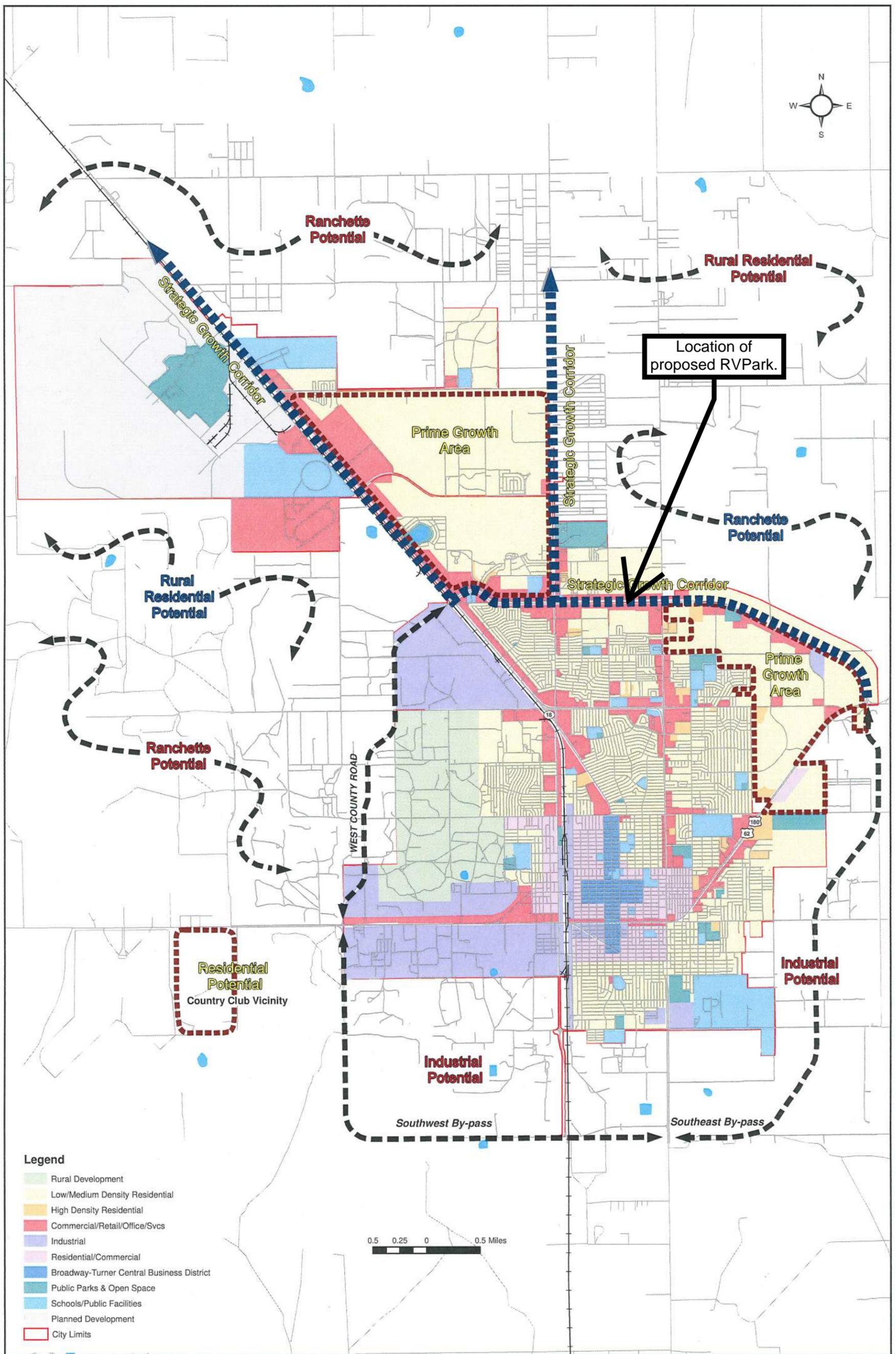
THE CITY OF HOBBS, NEW MEXICO

  
\_\_\_\_\_  
Kevin Robinson – Planning Department



**Legend**

-  Subject Property
-  300' Notification Buffer
-  NPOs



# Urban Growth Map





## ***PLANNING BOARD***

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200 E. Broadway St.  
Hobbs, NM 88240

575-397-9351 bus  
575- 397-9227 fax

### ***City of Hobbs, New Mexico***

Planning District Map Amendment  
Planning Board Report  
Per MC 18.04.050

Applicant Name: Habitat for Humanity  
Applicant Address: 301 E. Navajo  
Applicant Phone #: 1-575-390-5475  
Description\Location of Map Amendment: 301 E. Navajo  
Proposed Usage:  Mobile Home Park  Recreational Vehicle Park  Mobile Home  
Subdivision

WHEREAS, the Applicant above has submitted to the City of Hobbs Planning Board for approval a Map Amendment of the Official Planning District Map as per MC 18.04.050; and

WHEREAS, at the Public Hearing duly conducted the City of Hobbs Planning Board considered the application, relevant supporting materials, any and all materials and comments submitted by the public and all relevant criteria as per MC 18.04.050 – B.

NOW, Therefore the City of Hobbs Planning Board by a majority vote of its members does hereby  APPROVE  DENY the Map Amendment as so requested based on the following findings:

1. The Map Amendment  DOES  DOES NOT foster implementation of the City's Comprehensive Plan; and/or
2. The Map Amendment  IS  IS NOT different from surrounding land and could function as a transitional use between neighborhoods.

All development if herein authorized must be duly permitted and compliant to City of Hobbs Design Standards as per MC 18.04.060.

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**City of Hobbs Planning Board**  
**William "Tres" Hicks, III, Chairman**

**18.04.050 Special use permit approval procedures for planning district map amendment.**

A. *Special Use Permit Approval Process for Approval of Map Amendment of the Official Planning District Map (New Planning Districts) for Mobile Home Parks, Recreational Vehicle Parks and/or Mobile Home Subdivision - Application Procedure.* An application for an amendment to the official Planning District map may be initiated by a property owner filing a complete application with the Planning Division in a form established by the City. The application shall include the following information:

Name, address and telephone number of applicant and owner;

Legal description of the property that is the subject of the proposed amendment; A statement of the reasons why the amendment is being requested; and

Other information or documentation necessary to process the application, as required by the Planning Division. The property owner must sign the application for the planning district boundary change. Compliance with such information is necessary to place the application on the Planning Board agenda. The City Planning Division or Planning Board may require an applicant for map amendments to submit such technical studies as may be necessary to enable the proper evaluation of the application. Required studies may include, but are not limited to, traffic studies, engineering studies, noise studies or neighborhood and/or economic impact reports.

B. *Planning Board Review, Public Hearing and Decision Making Process.* The Planning Board shall, after due notice herein, conduct a public hearing on the proposed map amendment. At the public hearing the Planning Board shall consider the application, the relevant supporting materials, and all comments and written materials submitted by the public at the public hearing.

The Planning Board may give consideration to the following criteria, to the extent pertinent to the application. In addition, other factors may be considered which may be relevant to the application.

Conformance of the proposed map amendment with the City's land use policies contained in the adopted Comprehensive Plan.

The character of the neighborhood.

The adjacent residential areas, nearby properties, and the extent to which the proposed new residential development of a MHP or RVP would be compatible.

The extent to which the proposed use would affect the capacity or safety of that portion of the street network, other public facilities or utilities, or existing parking problems in the vicinity of the property.

The extent to which approval of the application would diminish the character of the neighborhood.

The possibility that an error was made when the existing planning district map was created.

C. If approved, the Planning Board must find that the map amendment must foster implementation of the City's adopted Comprehensive Plan; or the area of the proposed change is different from surrounding land

because it could function as a transition between adjacent neighborhood areas.

D. After the public hearing, the Planning Board shall adopt and transmit a final decision report to the applicant. The concurring vote of a simple majority of all current members of the Planning Board (four (4) of six (6) members) is necessary to approve any map amendment. The decision report for applications denied by the Planning Board shall state the reasons why the Planning Board denied the application. The decision of the Planning Board is final unless the applicant or any aggrieved party files a written appeal to the City Clerk within fifteen (15) days of the date of the meeting of the Planning Board when the action occurred. A re-application for a map change request on the same property may not be considered within two (2) years of the date of final action on the prior application.

E. *Conditional Stipulations Permitted.* In the exercise of its powers to review and approve map amendments, variance and other provisions of this chapter, the Planning Board is authorized to make a conditional approval of a map amendment or a variance, and to place any reasonable conditions on an application in the standard course of approving the map amendment or variance.

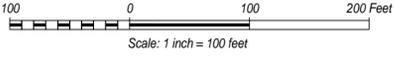
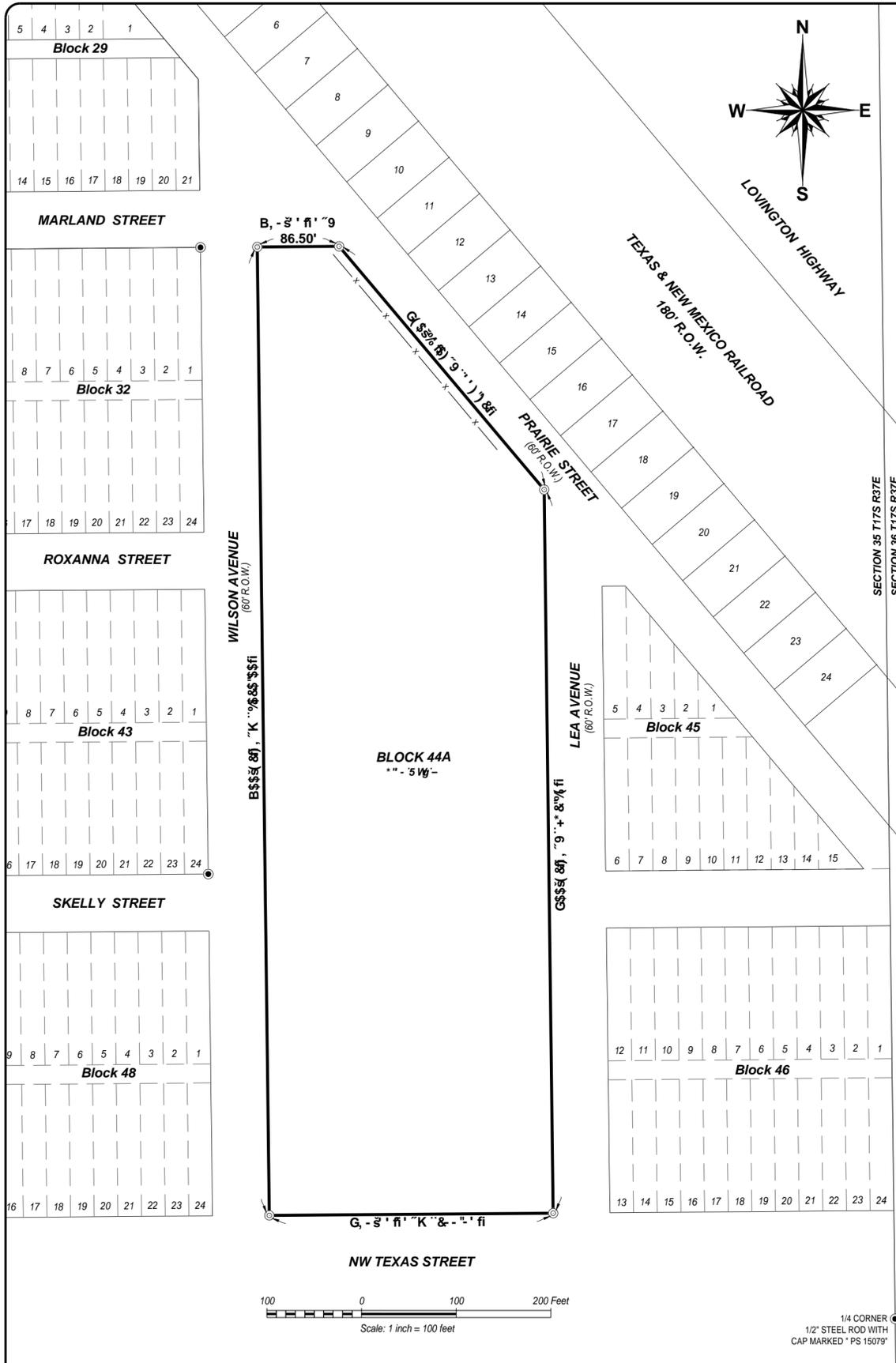
F. *Public Notice of Proposed Actions.* Public notice of hearings held before the Planning Board, unless otherwise required by law, shall be given as provided in this section.

1. *Published General Notice.* On or before the fifteenth day before the date of any public hearing involving the establishment or amendment of any district boundary, consideration of a special use permit, or a proposed variance from any planning regulation, the Planning Division shall publish in the local newspaper of general circulation in the City of Hobbs a public notice stating the date, time and place of the public hearing at which all parties in interest and citizens shall have an opportunity to be heard. The notice shall include a short description of the proposed action, the subject property and how additional information can be obtained.
2. *Mailed Notices.* Whenever a planning district map amendment special use permit is proposed for an area, the Planning Division shall mail notice of the public hearing by certified mail, return receipt requested, to the owners, as shown by the records of the county treasurer, of lots of land within the area proposed to be changed by a map amendment special use permit and to all other owners within the greater of two hundred (200) feet of the subject area, or one hundred (100) feet, excluding public right-of-way, of the subject area. The mailing shall be posted on or before the fifteenth day before the date of the public hearing.
3. *Notice of Proposed Variances.* Whenever a variance from the regulations herein are proposed on a property, the Planning Division shall follow the same legal notice and mail notice procedures as noted above for a map amendment public hearing.
4. *Posting of Notice Signs.* Public notice of required public hearings on property owner applications for a planning district map amendment special use permit application shall also be provided by way of a sign posted at least ten (10) days before the date of the public hearing on the property that is the subject of the application. One (1) sign shall be posted by the Planning Division for each five hundred (500) feet of frontage along a public street, with a maximum of three (3) signs required per frontage. Signs shall be located so that each sign is clearly visible from the street, or visible from the nearest public street.

**August 16, 2021**  
**Planning Board Regular Meeting**

- 4) **Review and Consider the Vacation of a portion of Roxanna Street, Skelly Street and the east\west alleyways within Block 31, 44 and 47 of the Humble City Subdivision located within the City of Hobbs ETJ.**

PRELIMINARY - JUNE 20, 2022 (JUNE 05, 13, 2022)  
 This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.



**VACATED:**

Vacated	Sq. Feet	Acres
Block 31 Alley	5993.39	0.14
Roxanna Street	17995.64	0.41
Block 44 Alley	5993.40	0.14
Skelly Street	17995.67	0.41
Block 47 Alley	4209.47	0.10

- LEGEND:**
- ⊙ - DENOTES SET 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641"
  - - DENOTES FOUND 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" UNLESS NOTED OTHERWISE
  - x — - DENOTES FENCE LINE

**NOTE:**

1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. THE CONVERGENCE ANGLE TO TRUE NORTH IS 00°37'12.0" BASED ON A POINT OF ORIGIN LOCATED AT (NMSPC) N: 649250.96 E: 893309.82 ESTABLISHED FROM GPS OBSERVATIONS AND SUBSEQUENT NGS OPUS PROCESSING. DISTANCES ARE SURFACE VALUES.

2) DATE OF SURVEY: JUNE 02, 2022

**SURVEYOR'S CERTIFICATE:**

I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

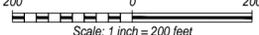
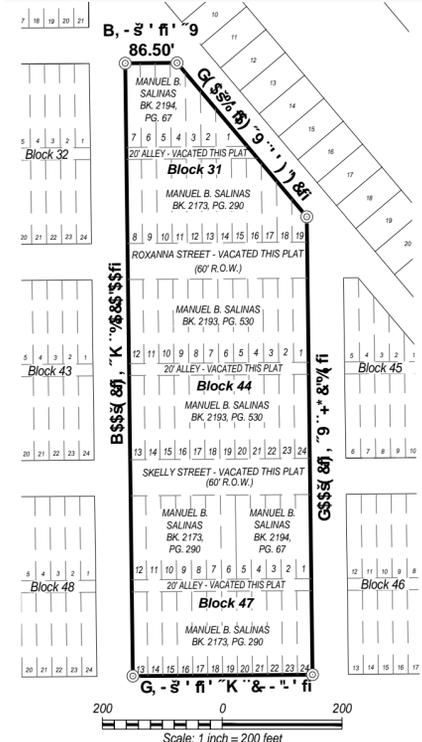


DATE: \_\_\_\_\_



PROVIDING SURVEYING SERVICES SINCE 1946  
**JOHN WEST SURVEYING COMPANY**  
 412 N. DAL PASO HOBBS, N.M. 88240  
 (575) 393-3117 www.jwsc.biz  
 TBPLS# 10021000

**ORIGINAL LOT AND BLOCK DESIGNATIONS:**



**REPLAT OF BLOCKS 31, 44, 47 AND VACATION OF STREETS AND ALLEYS BETWEEN SAID BLOCKS, FIRST UNIT OF THE HUMBLE CITY SUBDIVISION TO HUMBLE CITY, LEA COUNTY, NEW MEXICO**

REPLAT OF LOTS ONE (1) THROUGH NINETEEN (19), BLOCK THIRTY-ONE (31); LOTS ONE (1) THROUGH TWENTY-FOUR (24), BLOCK FORTY-FOUR (44); AND LOTS ONE (1) THROUGH TWENTY-FOUR (24), BLOCK FORTY-SEVEN (47), FIRST UNIT OF THE HUMBLE CITY SUBDIVISION TO HUMBLE CITY, LEA COUNTY, NEW MEXICO.

SAID PROPERTY IS BEING REPLATTED AS THE SAME APPEARS HEREON WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS THEREOF.

MANUEL B. SALINAS (BK. 2173, PG. 290; BK. 2193, PG. 530 BK. 2194, PG. 67, LEA COUNTY RECORDS)

**ACKNOWLEDGMENT:**

STATE OF NEW MEXICO  
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., BY MANUEL B. SALINAS.

NOTARY PUBLIC

VACATION OF ALL STREETS AND ALLEYS BETWEEN BLOCKS 31, 44 AND 47, FIRST UNIT OF THE HUMBLE CITY SUBDIVISION TO HUMBLE CITY, LEA COUNTY, NEW MEXICO.

**CERTIFICATE OF LEA COUNTY APPROVAL BY RESOLUTION:**

STATE OF NEW MEXICO  
 COUNTY OF LEA )

I, KEITH MANES, THE DULY APPOINTED LEA COUNTY CLERK, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF "REPLAT OF BLOCKS 31, 44, 47 AND VACATION OF STREETS AND ALLEYS BETWEEN SAID BLOCKS, FIRST UNIT OF THE HUMBLE CITY SUBDIVISION TO HUMBLE CITY, LEA COUNTY, NEW MEXICO," WAS APPROVED BY THE COMMISSION OF LEA COUNTY, NEW MEXICO, BY RESOLUTION No. \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.

KEITH MANES, LEA COUNTY CLERK

**ACKNOWLEDGMENT:**

STATE OF NEW MEXICO  
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., BY KEITH MANES.

NOTARY PUBLIC

**CERTIFICATE OF APPROVAL BY THE LEA COUNTY PLANNING & ZONING BOARD**

BE IT KNOWN THAT THE PLAT OF THE "REPLAT OF BLOCKS 31, 44, 47 AND VACATION OF STREETS AND ALLEYS BETWEEN SAID BLOCKS, FIRST UNIT OF THE HUMBLE CITY SUBDIVISION TO HUMBLE CITY, LEA COUNTY, NEW MEXICO," CONSISTING OF LAND ALTERED AS PROPOSED IN LEA COUNTY, NEW MEXICO, WAS SUBMITTED TO THE LEA COUNTY PLANNING AND ZONING BOARD, ASSEMBLED AT A MEETING ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., AND THE REPLAT AND VACATION AS SHOWN IN THE ATTACHED PLAT WAS THEREBY APPROVED AND ACCEPTED BY A MAJORITY OF THE SAID BOARD.

DANIEL JOHNCOX, CHAIRMAN

ATTEST: KEITH MANES, LEA COUNTY CLERK

BY \_\_\_\_\_ DEPUTY

**ACKNOWLEDGMENT:**

STATE OF NEW MEXICO  
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., BY DANIEL JOHNCOX AND KEITH MANES.

NOTARY PUBLIC

MY COMMISSION EXPIRES

**CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:**

THIS VACATION PLAT REVIEWED AND APPROVED ON THE 12TH DAY OF DECEMBER, 2021 A.D., BY THE CITY PLANNING AND ZONING BOARD OF HOBBS, LEA COUNTY, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

**ACKNOWLEDGMENT:**

STATE OF NEW MEXICO  
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., BY WILLIAM M. HICKS III.

NOTARY PUBLIC

**CERTIFICATE OF MUNICIPAL APPROVAL**

I, JAN FLETCHER THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING VACATION PLAT OF A PORTION OF THE ORIGINAL HOBBS ADDITION BY THE CITY OF HOBBS, NEW MEXICO, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. 7181, ON THE 4th DAY OF APRIL, 2022 A.D.

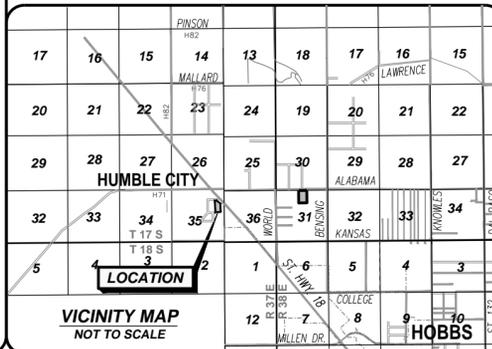
JAN FLETCHER, CITY CLERK

**ACKNOWLEDGMENT:**

STATE OF NEW MEXICO  
 COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., BY JAN FLETCHER.

NOTARY PUBLIC



Scale: One Inch = One Hundred Feet  
 CAD Drafter & Date: DSS - 06/05/2022  
 Checked By: \_\_\_\_\_

JWSC W.O. No.: 22110135  
 JWSC File No.: D-1436  
 © Donna S Summary Replat 2022 110125 Salinas  
 1st Unit Humble City B31 44 47 S35 T17S R37E

STATE OF NEW MEXICO  
 COUNTY OF LEA - FILED:



Scale: 1 inch = 100 feet

1/4 CORNER  
1/2" STEEL BOLT WITH  
CAP MARKED "PS 1507"

N Gilbert Ave

N Gilbert Ave

N Gilbert Ave

Block 29

MARLAND STREET

Block 32

ROXANNA STREET

Block 43

SKELLY STREET

Block 48

BLOCK 44A  
6.39 Acs ±

Block 45

Block 46

N89°33'33"E  
86.50'

S49°13'05"E 335.52'

WILSON AVENUE  
(60' R.O.W.)

N00°42'55"W 1020.00'

LEA AVENUE  
(60' R.O.W.)

S00°42'55"E 762.14'

S89°33'33"W 299.93'

NW TEXAS STREET

PRAIRIE STREET  
(60' R.O.W.)

TEXAS & NEW MEXICO RAILROAD  
160' R.O.W.



18



**August 16, 2021**  
**Planning Board Regular Meeting**

- 5) **Review and Consider Preliminary Plan for The Subdivision of Lots 3, 4, 11 and 12, Block 1 of the Azotea Subdivision, as submitted by property owner, Host, LLC.**

INDEX OF DRAWINGS		
SHEET NO.	DWG.	SHEET
1	1-1	COVER SHEET
2	1-2	GENERAL NOTES
3	1-3	GENERAL NOTES
4	2-1	PRELIMINARY SURVEY PLAT
5	2-2	PRELIMINARY SURVEY PLAT
6	3-1	TYPICAL ROADWAY SECTIONS
7	3-2	XCEL ELECTRICAL LAYOUT
8	3-3	UTILITY TRENCH SECTIONS
9	3-4	UTILITY DETAILS
10	4-0	COMPOSITE PAVING PLAN
11	5-0	OVERALL UTILITY PLAN
12	5-1	EL DORADO UTILITY PLAN
13	5-2	APACHE UTILITY PLAN

# CONSTRUCTION PLANS FOR AZOTEA SUBDIVISION INFRASTRUCTURE IMPROVEMENTS HOBBS, NEW MEXICO



VICINITY MAP



P:\2022\22047\CADD\6SHEET\6SHEET\GEN NOTES.dwg July 14, 2022 - 8:41pm

DESIGNED: RJF					
DRAWN: JB					
CHECKED: RJF					
APPROVED:					
	NO.	DATE	BY	REVISION	



CLIENT:  
**THE PECULIAR PEOPLE, LLC**

**AZOTEA SUBDIVISION  
INFRASTRUCTURE IMPROVEMENTS**

**COVER**

SHEET	1	of	13
SET	1-1		
DATE	Jul-2022		
PROJ	22047		

**GENERAL NOTES:**

- ALL IMPROVEMENTS, UNLESS OTHERWISE MODIFIED IN THE PROJECT SPECIFICATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APWA NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, EXCEPT WHERE OTHERWISE NOTED IN THE DRAWINGS.
- STANDARD DRAWINGS: REFER TO STANDARD DRAWINGS FOR THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION UNLESS OTHERWISE NOTED.
- THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ENGINEER AND ALL APPROVAL SIGNATORIES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- UNLESS OTHERWISE PROVIDED AS PART OF THE CONSTRUCTION PLANS, A COMPLETE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR WHEN ANY PORTION OF THE WORK IS IN THE PUBLIC RIGHT-OF-WAY OR AFFECTING ON-SITE VEHICLE OR PEDESTRIAN CIRCULATION. ALL CONSTRUCTION SIGNING, BARRICADING AND CHANNELIZATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. THE PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL FOR ON-SITE CONSTRUCTION. TRAFFIC CONTROL WITHIN THE CITY/COUNTY RIGHT-OF-WAY SHALL DEFAULT TO THE CITY/COUNTY TRAFFIC DEPARTMENT FOR APPROVAL. THE CONTRACTOR SHALL NOT IMPLEMENT THE TRAFFIC CONTROL PLAN UNTIL APPROVAL OF THE PLAN HAS BEEN RECEIVED FROM THE ENGINEER. THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OR ENGINEER.
- THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME, INCLUDING WEEKENDS, HOLIDAYS AND AFTER HOURS. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO START OF CONSTRUCTION. PERMIT COSTS ARE INCIDENTAL TO BASE BID.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY, HEALTH, AND ENVIRONMENTAL PROTECTION.
- EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.
- THE CONTRACTOR SHALL USE THE DESIGNATED STAGING AREAS FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ON-SITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT AND MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IF NO STAGING AREA IS DESIGNATED ON THESE PLANS, AN OFF-SITE STAGING AREA SHALL BE PROVIDED AT THE CONTRACTOR'S EXPENSE, OR THE CONTRACTOR MAY NEGOTIATE WITH THE OWNER TO USE AN ON-SITE AREA. OWNER WILL HAVE A STAGING AREA DESIGNATED.
- ALL STATIONING REFERS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED. STATIONING OF CHANNELS OR PIPES IN DRAINAGE EASEMENTS REFERS TO THE CENTERLINE OF CHANNEL OR PIPE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF THEIR CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC., ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
- FACILITIES WHICH ARE NOT SPECIFICALLY LOCATED WITH ACTUAL VERTICAL AND HORIZONTAL CONTROLS ON THE CONSTRUCTION DOCUMENTS, ARE SHOWN APPROXIMATE AND IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION PROVIDED BY VARIOUS OWNERS OF THE FACILITIES, AND SUPPLEMENTED BY VISUAL SURFACE INFORMATION WHERE APPROPRIATE. ACCURACY, LOCATION, AND COMPLETENESS OF THIS INFORMATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE VERIFIED, BY ANY MEANS NECESSARY, BEFORE THE INITIATION OF CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CITY, ENGINEER, AND THE CITY'S PROJECT MANAGER IMMEDIATELY.
- IT IS MANDATORY THAT A PRECONSTRUCTION MEETING BE HELD BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY'S PROJECT MANAGER TO DETERMINE THE TIME AND LOCATION OF THE PRECONSTRUCTION MEETING.
- AS-BUILTS: CONTRACTOR SHALL DELIVER FINAL CERTIFIED AS-BUILTS IN HARD COPY. AS-BUILTS SHALL BE SUBMITTED WITH SUBSTANTIAL COMPLETION PAY APPLICATION. NO PAYMENT WILL BE MADE WITHOUT AS-BUILT SUBMITTAL.
- CALL NM811 AT LEAST 2-DAYS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.

**EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING ALL NECESSARY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, OBTAINING AN NPDES PERMIT BEFORE CONSTRUCTION, FILLING OUT THE NOTICE OF INTENT (NOI) APPLICATION, AND FILLING OUT THE NOTICE OF TERMINATION (NOT) APPLICATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMPLEMENTATION OF AND INSPECTION REPORTS FOR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL SUBMIT THE SWPPP WITH THE PROPOSED CONSTRUCTION STAGING AREA AND TEMPORARY SANITARY FACILITIES CLEARLY SHOWN. ANY CHECK DAMS, SILT FENCES, OR OTHER BEST MANAGEMENT PRACTICES (BMP) THAT ARE REQUIRED IN THE APPROVED SWPPP SHALL BE INCLUDED IN AND ARE INCIDENTAL TO THE SWPPP BID AMOUNT.
  - THE CONTRACTOR IS REQUIRED TO KEEP A CURRENT COPY OF THE SWPPP AT THE CONSTRUCTION SITE OR AT AN EASILY ACCESSIBLE LOCATION SO THAT IT CAN BE MADE AVAILABLE AT THE TIME OF AN ONSITE INSPECTION OR UPON REQUEST BY THE EPA; A STATE, TRIBAL, OR LOCAL AGENCY APPROVING STORM WATER MANAGEMENT PLANS; THE OPERATOR OF A STORM SEWER SYSTEM RECEIVING DISCHARGES FROM THE SITE; OR REPRESENTATIVES OF THE U.S. FISH AND WILDLIFE SERVICE (USFWS) OR THE NATIONAL MARINE FISHERIES SERVICE (NMFS).
  - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM THE REGULATORY AGENCIES.
  - THE CONTRACTOR SHALL EITHER PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR INSTALL BMPs ACCORDING TO NPDES REQUIREMENTS TO PREVENT DISCHARGE OF EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY DURING A RAIN OR WIND EVENT. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
  - THE CONTRACTOR SHALL IMPLEMENT THE APPROVED SWPPP AND ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
  - THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING BMPs IDENTIFIED IN THE APPROVED SWPPP IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AND AT INTERVALS AS SPECIFIED IN THE SWPPP.
  - CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR.
  - ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE RE-VEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED. UNLESS INDICATED OTHERWISE ON THESE PLANS OR ON THE LANDSCAPING PLAN, NATIVE GRASS SEEDING SHALL BE IN ACCORDANCE WITH SECTION 1012 OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, APWA NM CHAPTER, CURRENT EDITION.
  - ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OFFSITE AT NO ADDITIONAL COST TO THE CITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED TO HAUL OR DISPOSE OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT (505) 827-9329.
  - THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
  - WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE PROVIDED ON THEIR UPSTREAM SIDE UTILIZING BMPs ACCORDING TO NPDES REQUIREMENTS. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
  - STORM WATER POLLUTION PREVENTION PLANS (SWPPP) AND ACCOMPANYING FEDERAL EPA ADMINISTRATIVE PROCEDURES SHALL MEET THE CITY OF HOBBS GUIDELINES AND PROCEDURES OUTLINED IN THE CURRENT ADDITION OF THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STORM WATER MANAGEMENT GUIDELINES FOR CONSTRUCTION AND INDUSTRIAL ACTIVITIES MANUAL.
  - THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS FOR CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD BEFORE ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS AND TAKE WHATEVER MEASURES ARE NECESSARY TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST-FREE CONDITION AT ALL TIMES.
- ROADWAY GENERAL NOTES**
- NO PAVING CONSTRUCTION ACTIVITIES SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY ARE COMPLETED, TESTED, AND APPROVED. ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE.
  - ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, PAVEMENT MARKINGS, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD), CURRENT EDITION.
  - ALL STREET STRIPING ALTERED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR TO MATCH THE ORIGINAL CONDITIONS (I.E. TYPE, SPACING) AT THE LOCATION PRIOR TO CONSTRUCTION, OR AS SHOWN IN THIS PLAN SET.
  - STREET GRADES SHALL BE RESTORED BY THE CONTRACTOR TO THE EXISTING GRADES UNLESS OTHERWISE DIRECTED BY THE CITY OF HOBBS. SMOOTH TRANSITIONS SHALL BE MADE BETWEEN EXISTING PAVEMENT WHICH REMAINS IN PLACE AND PAVEMENT WHICH IS REPLACED. WHEN ABUTTING NEW PAVEMENT TO EXISTING, SAW CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT.
  - THE LOCATION OF ALL VALVES AND MANHOLES MUST BE REFERENCED AT ALL TIMES BY THE CONTRACTOR DURING CONSTRUCTION AND MADE ACCESSIBLE DAILY UPON COMPLETION OF ALL PAVING ACTIVITIES.

**UTILITIES-GENERAL NOTE:**

- IF ANY UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS. THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF ANY DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
  - THE CONTRACTOR SHALL NOTIFY NEW MEXICO ONE CALL, INC. AT PHONE NO. (811) AT LEAST TWO WORKING DAYS PRIOR TO STARTING WORK ON THIS PROJECT.
  - SEWER/WATER LINES SHALL BE PLACED IN SEPARATE TRENCHES A DISTANCE OF 15 FEET TYPICALLY OR A MINIMUM OF 10 FEET APART HORIZONTALLY. THE WATER LINE SHALL BE PLACED A MINIMUM OF 1.5 FEET HIGHER IN ELEVATION THAN THE SEWER. AT ALL CROSSINGS OF WATER AND SEWER LINES, THE WATER LINE SHALL BE MINIMUM OF 1.5 HIGHER THAN THE SEWER OR THE SEWER LINE SHALL BE SDR 26 PRESSURIZED PIPE. IF THESE REQUIREMENTS ARE NOT MET, CONSTRUCT SEWER ENCASEMENT PER APWA STD. DWG. 2140.
  - SEWER & WATER LINE DISTANCES SHOWN IN PLANS ARE HORIZONTAL DISTANCES WITHOUT REGARD TO SLOPE OF PIPE OR PROJECT STATIONING.
  - ELECTRONIC MARKER DEVICES (EMD) WILL BE REQUIRED AT ALL SANITARY SEWER MANHOLES AND WATER VALVE CANS, NEW OR ADJUSTED TO GRADE THROUGHOUT THE PROJECT. EMD'S SHALL BE INCIDENTAL TO ITEM OR ADJUSTMENT.
- WATER:**
- THE CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF HOBBS WATER DEPT. TO OPERATE ANY VALVE OR FIRE HYDRANT INCLUDING NEW WATERLINES AND EXTENSIONS TO THE WATER SYSTEM WHICH HAVE NOT YET BEEN ACCEPTED BY ARE CONNECTED TO THE EXISTING WATER SYSTEM. ONCE APPROVAL HAS BEEN VERIFIED, THE CONTRACTOR MUST CONTACT THE CITY OF HOBBS WATER DEPT., 48 HOURS IN ADVANCE TO REQUEST A SHUTOFF DATE. WATER SHUT OFF MAY BE DONE AT NIGHT OR ON WEEKENDS TO ACCOMMODATE WATER CUSTOMERS.
  - WATER LINES SHALL BE CONSTRUCTED WITH A MINIMUM OF 3.0 FT. COVER MEASURED FROM FINISH GRADE TO THE TOP OF PIPE, UNLESS OTHERWISE SPECIFIED ON PLANS.
  - FOR PRESSURE WATER CONNECTIONS TO EXISTING LINES, THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HOBBS. CITY OF HOBBS PERFORMS PRESSURE WATER CONNECTIONS. CONTACT SEVERAL WEEKS IN ADVANCED TO SCHEDULE PRESSURE WATER CONNECTIONS.
  - CONCRETE THRUST BLOCKS SHALL BE USED ON ALL 90 DEGREE BENDS, TEES TO HYDRANTS, BEHIND HYDRANTS AND UNDER VALVES. ALL FITTINGS AND CAPS SHALL USE MEGA LUG RESTRAINTS. NO EXTRA PAYMENT WILL BE MADE FOR THESE FEATURES.
  - COMPRESSION JOINTS MAY BE USED ON COPPER SERVICE LINES EXCEPT FLARED JOINTS SHALL BE USED WHEN CONNECTING TO PLASTIC LINES.
  - THE 24" DEPTH OF SERVICE LINE BELOW FINISH SURFACE ELEVATION OF METER BOXES IS CRITICAL. METERS WILL NOT BE INSTALLED WHEN THIS DIMENSION VARIES.
  - VALVE BOXES SHALL BE BROUGHT TO SURFACE ELEVATION UPON COMPLETION OF SURFACE COURSE OF PAVEMENT.
  - ALL PIPING, VALVES, FITTINGS, AND SERVICES UTILIZE FOR POTABLE WATER SERVICE, SHALL BE DISINFECTED IN ACCORDANCE WITH NMED REQUIREMENTS. PIPELINES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-651. REFER TO APWA SPECIFICATIONS SECTION 801.17.
  - FLUSHING OF WATER LINES SHALL BE METERED. ORDER OF PREFERENCE FOR DISPOSAL IS (1) ON AVAILABLE LAND SURFACE (2) IN STORM SEWERS OR (3) IN SANITARY SEWERS. DISPOSAL METHOD SHALL BE DISCUSSED WITH ENGINEER OR THE CITY OF HOBBS WATER DEPARTMENT.
  - FLUSHING, DISINFECTING AND TESTING OF WATERLINES SHALL BE COORDINATED WITH THE CITY OF HOBBS WATER DEPT.
  - DEFLECTIONS AT PIPE JOINTS AND FITTINGS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH PIPE MANUFACTURE'S RECOMMENDED PRACTICES. IN NO CIRCUMSTANCE SHALL ANY SINGLE DEFLECTION, WHETHER AT A FITTING OR A JOINT, EXCEED THE MANUFACTURERS RECOMMENDATIONS.
  - WHERE ANY SINGLE JOINT DEFLECTION IS SHOWN EXCEEDING 1.5', CONTRACTOR SHALL EVENLY DISTRIBUTE TOTAL DEFLECTIONS BETWEEN UPSTREAM AND DOWNSTREAM JOINTS OF PIPE TO ACCOMMODATE TOTAL DEFLECTION REQUIREMENT WITHOUT EXCEEDING THE MANUFACTURER'S RECOMMENDATION DEFLECTION AT ANY SINGLE JOINT.
  - 4" PVC WATERLINE SHALL BE CLASS C900 DR-18.

**SOILS**

1. UNLESS OTHERWISE SPECIFIED SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF THE ASTM D-1557 MAXIMUM DENSITY.	
	PERCENT (%) COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95
SUB BASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROAD	95
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90
ROAD SUB GRADE	95
SIDEWALK SUB GRADE	95
CURB AND GUTTER SUBGRADE	95
ARROYOS	90

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APPROVED:					
	NO.	DATE	BY	REVISION	



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Albuquerque, NM 87107  
(505) 352-8930

**CLIENT:**

**THE PECULIAR PEOPLE, LLC**

**AZOTEA SUBDIVISION  
INFRASTRUCTURE IMPROVEMENTS**

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**GENERAL NOTES**

SHEET	2 of 13
SET	1-2
DATE	Jul-2022
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**GRADING NOTES:**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE SHOWN.
3. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
4. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL FROM THE SITE SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
5. A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND HAUL TO THE SITE SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
6. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
7. DENSITY TESTING SHALL BE PER C.O.H. SPECIFICATIONS.
8. ALL AREAS DISTURBED BY THE CONSTRUCTION ACTIVITIES OF THIS PROJECT SHALL BE RESTORED AND RE-GRADED IN A MANNER ACCEPTABLE TO THE OWNER AND ENGINEER. ANY REQUIRED RESTORATION AND RE-GRADED IS CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR.
9. UNLESS OTHERWISE SPECIFIED SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE PER THE GEOTECHNICAL REPORT.
10. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOBBS SPECIFICATIONS (FIRST PRIORITY), AND/OR THE NMAPWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
11. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED AT A LEGALLY ACCEPTABLE LOCATION.
12. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION AND OTHER MEANS AS DETERMINED BY THE CONTRACTOR.
13. PAVING AND ROADWAY GRADES SHALL BE ±0.05' FROM PLAN ELEVATIONS. PAD ELEVATIONS SHALL BE +/-0.05' FROM BUILDING PLAN ELEVATIONS.
14. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
15. ALL DISTURBED AREA, INCLUDING SLOPES GRADED AT 3 HORIZONTAL TO 1 VERTICAL SHALL BE RE-SEEDED PER NMAPWA SPECIFICATION 1012.
16. PAD OVER EXCAVATION SHALL BE PER THE GEOTECHNICAL REPORT.

**WASTEWATER GENERAL NOTES**

1. SEWER/WATER LINES SHALL BE PLACED IN SEPARATE TRENCHES AT A DISTANCE OF 15 FEET TYPICALLY OR A MINIMUM OF 10 FEET APART HORIZONTALLY. THE WATER LINE SHALL BE PLACED A MINIMUM OF 1.5 FEET HIGHER IN ELEVATION THAN THE SEWER LINE. AT ALL CROSSINGS OF WATER AND SEWER LINES, THE WATER LINE SHALL BE A MINIMUM OF 1.5 FEET HIGHER THAN THE SEWER LINE OR THE SEWER LINE SHALL BE C-900 PRESSURIZED PIPE.
2. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ADEQUATELY SUPPORT AND PROTECT EXISTING UTILITIES AFFECTED BY THE CONTRACTOR'S TRENCHING ACTIVITY. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS, THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE PROJECT MANAGER, PROMPT REPAIR BY THE RESPECTIVE UTILITY AND SHALL BEAR THE COST OF THE REPAIRS.
3. THE CITY OF HOBBS SHALL APPROVE MATERIAL SUBMITTALS BEFORE CONSTRUCTION
4. PRIOR TO THE SEWER LINE INSTALLATION, THE FOLLOWING CONDITIONS WILL OCCUR:  
A) THE SEWER LINE ROUTE WILL BE CLEARED AND GRUBBED AND THEN GRADED TO PLAN ELEVATION  
B) THE SEWER LINE WILL BE STAKED WHEN OUTSIDE AN AREA WITH CURB AND GUTTER
5. 30 DAYS FOLLOWING INSTALLATION AND BACKFILL OF SEWER LINES, A DEFLECTION TEST USING A HAND PULLED MANDREL SHALL BE PERFORMED IN THE PRESENCE OF THE CITY'S INSPECTOR. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
6. AIR TESTING OF SEWER LINES AND HYDROSTATIC TESTING OF FORCE MAINS SHALL BE CONDUCTED IN THE PRESENCE OF THE CITY'S INSPECTOR. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
7. ALL SEWER SERVICE LINES SHALL BE INSPECTED BY TV CAMERA AND VIDEOED THEN PROVIDED TO THE CITY'S INSPECTOR FOR REVIEW BEFORE ACCEPTANCE BY THE CITY. IN THE EVENT THAT THE FIRST INSPECTION OR SUBSEQUENT INSPECTIONS AFTER THAT DO NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PERFORM ADDITIONAL INSPECTIONS OF THE SEWER SERVICE LINES USING A TV CAMERA AT THE CONTRACTOR'S EXPENSE.
8. MANHOLES SHALL MEET THE CITY OF HOBBS STANDARDS EXCEPT THAT THERE SHALL BE NO LADDER RUNGS INSTALLED.
9. THE CONTRACTOR IS RESPONSIBLE FOR TESTING OF ALL FORCE MAIN LINES, INCLUDING BUT NOT LIMITED TO HYDROSTATIC AND BACTERIA TESTING, DISINFECTING, AND FLUSHING. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
10. IF BYPASS PUMPING IS REQUIRED, THEN A BYPASS PUMPING PLAN MUST BE SUBMITTED TO THE CITY'S PROJECT MANAGER, FOR ACCEPTANCE, SEVEN (7) DAYS BEFORE BYPASS PUMPING BEGINS.
11. MANHOLES SHALL BE RAISED TO SURFACE COURSE OF PAVEMENT. CIRCULAR CONCRETE COLLARS SHALL BE CONSTRUCTED TO SURFACE ELEVATION.
12. NO BRICKS SHALL BE USED TO ADJUST MANHOLES TO FINISHED GRADE.

**LEGEND**

- PROPERTY BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING POWER POLE
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
- EXISTING OVERHEAD ELECTRIC
- EXISTING MAIN WATERLINE
- EXISTING SANITARY SEWER
- EXISTING GAS LINE
- NEW SINGLE METER W/ SINGLE BOX
- NEW SANITARY SEWER LATERAL
- NEW WATERLINE MAIN
- NEW SANITARY SEWER MAIN
- ELECTRIC LINE
- EXISTING SEWER MANHOLE
- NEW SEWER MANHOLE
- EXISTING FIREHYDRANT
- PROPOSED FIRE HYDRANT
- CLEANOUT
- WATER METER
- EXISTING WATER VALVE
- NEW WATER VALVE
- GAS METER
- UTILITY LATERAL
- SAWCUT
- TC TOP OF CURB
- TA TOP OF ASPHALT
- H.P. HIGH POINT
- DROP INLET
- EXISTING PAVEMENT
- NEW PAVEMENT
- LANDSCAPING
- NEW CONCRETE

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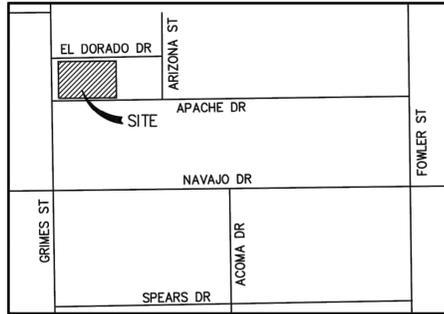
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**CLIENT:**  
**THE PECULIAR PEOPLE, LLC**

**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**

**GENERAL NOTES**

SHEET	3	of	13
SET	1-3		
DATE	Jul-2022		
PROJ	22047		



VICINITY MAP  
N.T.S.



**DESCRIPTION**

Lot Three (3), Lot Four (4), Lot Eleven (11), Lot Twelve (12), Block One (1), of the Azetea Subdivision to the City of Hobbs, Lea County, New Mexico.

This tract contains 1.326 Acres (57,780 sq.ft.), more or less.

**FREE CONSENT AND DEDICATION**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREET AND PUBLIC RIGHT-OF-WAYS SHOWN HEREON TO THE CITY OF HOBBS IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: Host, LLC, a New Mexico corporation  
By: XXXXXXXXXX  
Title: President

XXXXXXXXXX DATE

**ACKNOWLEDGEMENT:**

STATE OF \_\_\_\_\_ )  
 )SS.

COUNTY OF \_\_\_\_\_ )

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022, BEFORE ME

PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
MY COMMISSION EXPIRES

**TREASURER'S OFFICE CERTIFICATION**

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC #: \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

LEA COUNTY TREASURER'S OFFICE \_\_\_\_\_

DATE

**SURVEYOR'S CERTIFICATION**

I, ROBERT J. FIERRO, NEW MEXICO PROFESSIONAL SURVEYOR NO. 22909, DO HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION; THAT IT ACCURATELY MEETS THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ROBERT J. FIERRO, Date  
N.M.P.S. No. 22909



PLAT OF  
AZOTEA SUMMARY REPLAT  
SECTION 15, TOWNSHIP 18 SOUTH  
RANGE 38 EAST, N.M.P.M.  
CITY OF HOBBS, LEA COUNTY, NEW MEXICO  
MAY 2022

**CERTIFICATE OF MUNICIPAL APPROVAL**

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FORGOING PLAT OF THE MEADOWS SUBDIVISION, UNIT II, TO THE CITY OF HOBBS, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. \_\_\_\_\_ ON THE \_\_\_\_ OF \_\_\_\_\_, 2022 A.D.

\_\_\_\_\_  
JAN FLETCHER, CITY CLERK

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 )SS.

COUNTY OF LEA )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_DAY OF \_\_\_\_\_, 2022 A.D. BY JAN FLETCHER.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
MY COMMISSION EXPIRES

**CERTIFICATE OF APPROVAL  
BY THE CITY OF HOBBS PLANNING BOARD:**

THE PLAT, RESTRICTIONS AND DEDICATION APPROVED AND ACCEPTED THE \_\_\_\_DAY OF \_\_\_\_\_, 2022 A.D. BY THE CITY PLANNING BOARD OF HOBBS NEW MEXICO.

\_\_\_\_\_  
CHAIRMAN: WILLIAM M. HICKS, III

**ACKNOWLEDGMENT**

STATE OF \_\_\_\_\_ )  
 )SS.

COUNTY OF \_\_\_\_\_ )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_DAY OF \_\_\_\_\_, 2022, BY WILLIAM M. HICKS.

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
MY COMMISSION EXPIRES

**NOTES**

- 1. BASIS OF BEARINGS IS NEW MEXICO STATE PLAN EAST ZONE.
- 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.

**LEGEND**

- ◆ FOUND QUARTER CORNER AS NOTED
- 4 3  
9 10 FOUND SECTION CORNER AS NOTED
- FOUND MONUMENT AS NOTED
- SET 18"x1/2" REBAR WITH BLUE PLASTIC CAP MARKED "F&C PS 22909"
- ⊗ CALCULATED CORNER NOT SET

(N00°00'00"E, 00.00') RECORD BEARING & DISTANCE  
N00°00'00"E, 00.00' MEASURED BEARING & DISTANCE

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SHEET 1 OF 3

STATE OF NEW MEXICO  
COUNTY OF LEA  
FILED  
\_\_\_\_\_, 2022,  
AT \_\_\_\_\_, O'CLOCK \_\_\_M AND RECORDED IN  
CABINET \_\_\_\_\_  
SLIDE \_\_\_\_\_  
\_\_\_\_\_, LEA COUNTY CLERK  
BY \_\_\_\_\_ DEPUTY

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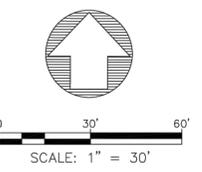
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**AZOTEA SUBDIVISION  
INFRASTRUCTURE IMPROVEMENTS**  
  
**PRELIMINARY PLAT**

SHEET 4 of 13
SET 2-1
DATE Jul-2022
PROJ 22047

PLAT OF  
**AZOTEA SUMMARY REPLAT**  
 SECTION 15, TOWNSHIP 18 SOUTH  
 RANGE 38 EAST, N.M.P.M.  
 CITY OF HOBBS, LEA COUNTY, NEW MEXICO  
 MAY 2022



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STATE OF NEW MEXICO  
 COUNTY OF LEA  
 FILED

\_\_\_\_\_, 2022,  
 AT \_\_\_\_\_, O'CLOCK \_\_\_M AND RECORDED IN  
 CABINET \_\_\_\_\_  
 SLIDE \_\_\_\_\_  
 \_\_\_\_\_, LEA COUNTY CLERK  
 BY \_\_\_\_\_ DEPUTY

SHEET 2 OF 3

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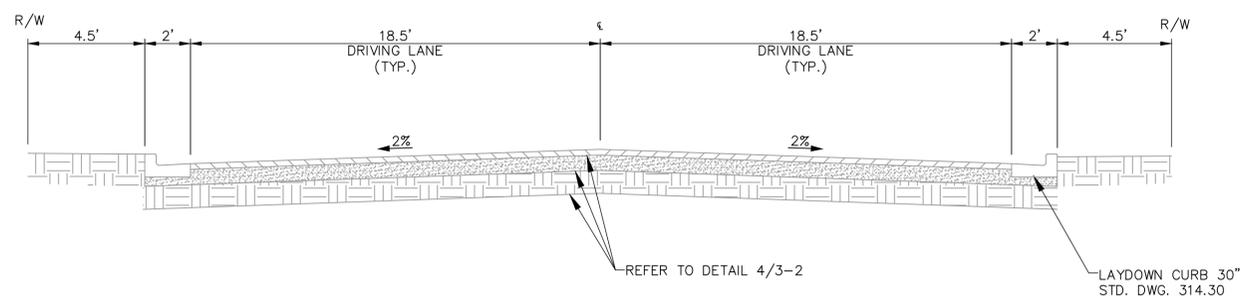
  
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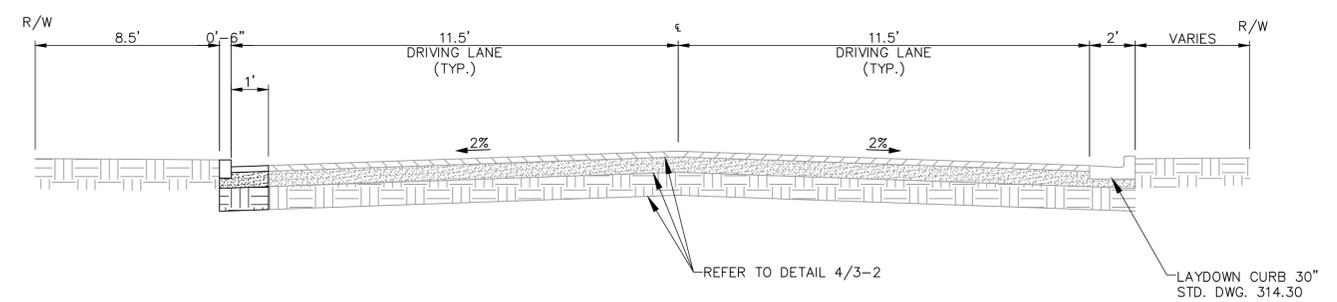
**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**  
  
**PRELIMINARY PLAT**

SHEET	5	of	13
SET	2-2		
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1 EL DORADO DRIVE – TYPICAL ROAD SECTION  
N.T.S.



2 APACHE DRIVE – TYPICAL ROAD SECTION  
N.T.S.

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**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**  
  
**TYPICAL ROADWAY SECTIONS**

SHEET	6	of	13
SET	3-1		
DATE	Jul-2022		
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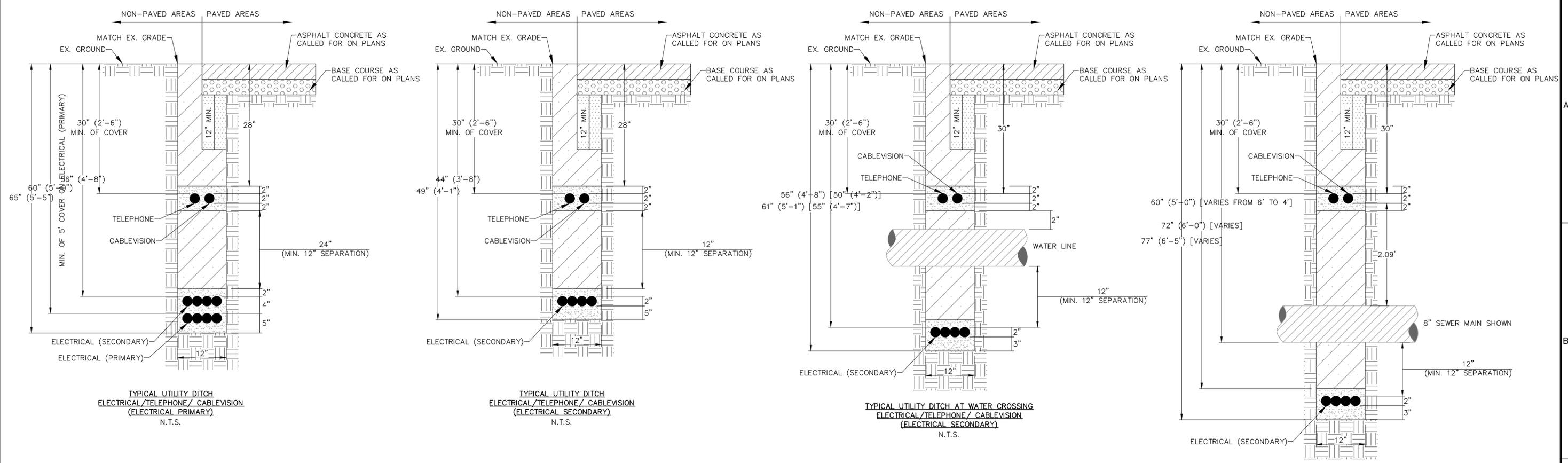
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**AZOTEA SUBDIVISION  
INFRASTRUCTURE IMPROVEMENTS**

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**EXCEL ELECTRICAL LAYOUT**

SHEET	7	of	13
SET	3-2		
DATE	Jul-2022		
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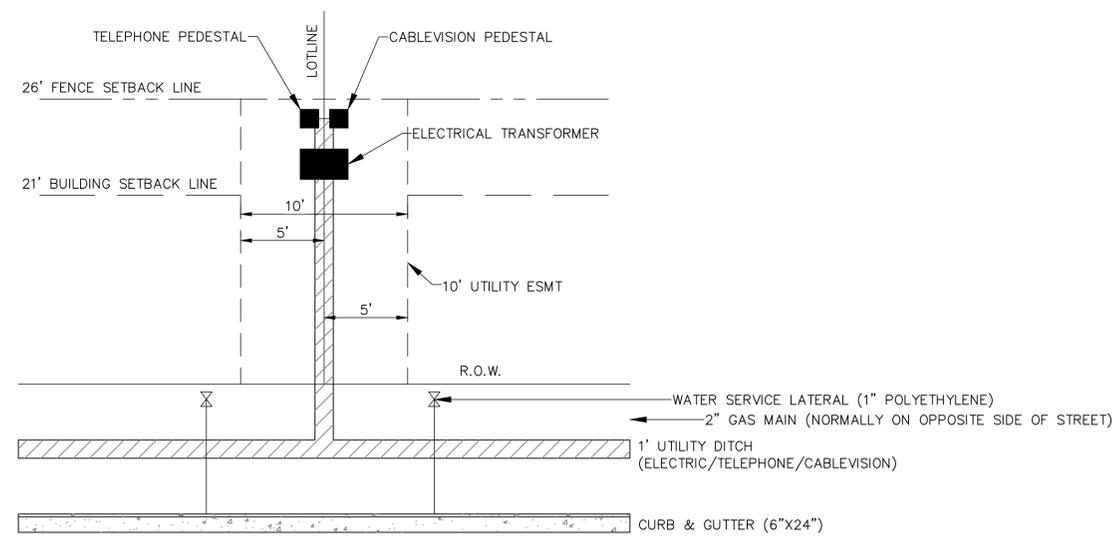


TYPICAL UTILITY DITCH  
ELECTRICAL/TELEPHONE/ CABLEVISION  
(ELECTRICAL PRIMARY)  
N.T.S.

TYPICAL UTILITY DITCH  
ELECTRICAL/TELEPHONE/ CABLEVISION  
(ELECTRICAL SECONDARY)  
N.T.S.

TYPICAL UTILITY DITCH AT WATER CROSSING  
ELECTRICAL/TELEPHONE/ CABLEVISION  
(ELECTRICAL SECONDARY)  
N.T.S.

TYPICAL UTILITY DITCH AT SEWER CROSSING  
ELECTRICAL/TELEPHONE/ CABLEVISION  
(ELECTRICAL SECONDARY)  
N.T.S.



TYPICAL PEDESTAL AND ELECTRIC  
TRANSFORMER WITH SERVICE STUB OUTS  
N.T.S.

GENERAL CONSTRUCTION NOTES

1. DITCHES, BACKFILL MATERIALS, BACKFILL & COMPACTION PROVIDED BY DITCHING CONTRACTOR
2. DITCHING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY OWNERS AND FOR THE PROTECTION OF ALL FACILITIES AFTER THEIR INSTALLATION. IF APPLICABLE, GAS COMPANY SHALL DITCH, INSTALL, BACKFILL AND COMPACT THEIR OWN UTILITIES.
3. ANY UTILITIES DAMAGED BY THE DITCHING CONTRACTOR DURING TRENCHING, COMPACTION, OR INSTALLING SERVICE LATERALS SHALL REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE DITCHING CONTRACTOR.
4. EXTRA DEPTH NECESSARY FOR THE ELECTRICAL PRIMARY AND SECONDARY TO CROSS UNDER WATER OR SEWER LINES AS SHOWN IN THE TYPICAL DETAILS IN CONSIDERED INCIDENTAL AND NO EXTRA PAYMENT WILL BE MADE.
5. ELECTRICAL CONDUIT REQUIRES A MINIMUM RADIUS OF 48 INCHES FOR ANY BRANCHES / BENDS. CONTRACTOR SHALL PROVIDE ADEQUATE DITCH WIDTH TO ACCOMMODATE THE NECESSARY MINIMUM RADIUS OF 48 INCHES REQUIRED AT ALL BRANCHES / BENDS FOR ELECTRICAL CONDUIT. THIS WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL PAYMENT WILL BE MADE.
6. JAMES JAROB IS XCEL'S REPRESENTATIVE ON THE MEADOWS SUBDIVISION. EMAIL: JAMES.M.JAROB@XCELENERGY.COM FOR ANY QUESTION REGARDING LAYOUT. SHEET NO. 11 IS DESIGNATED FOR XCEL'S ELECTRICAL PLAN.

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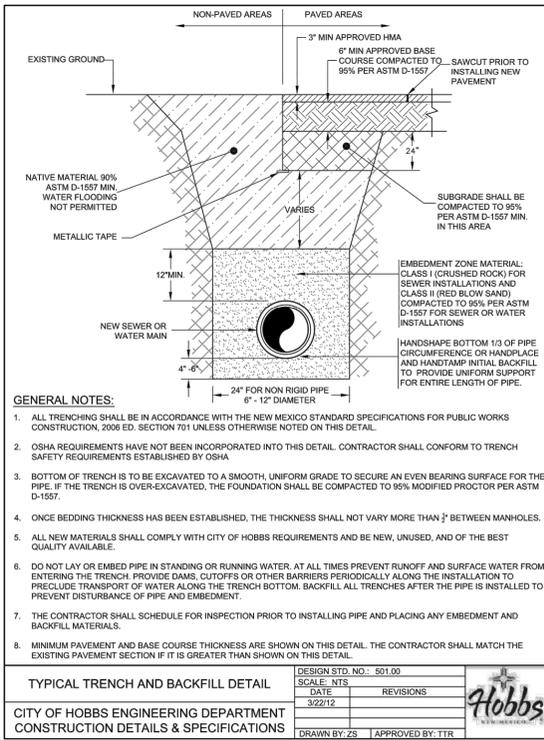
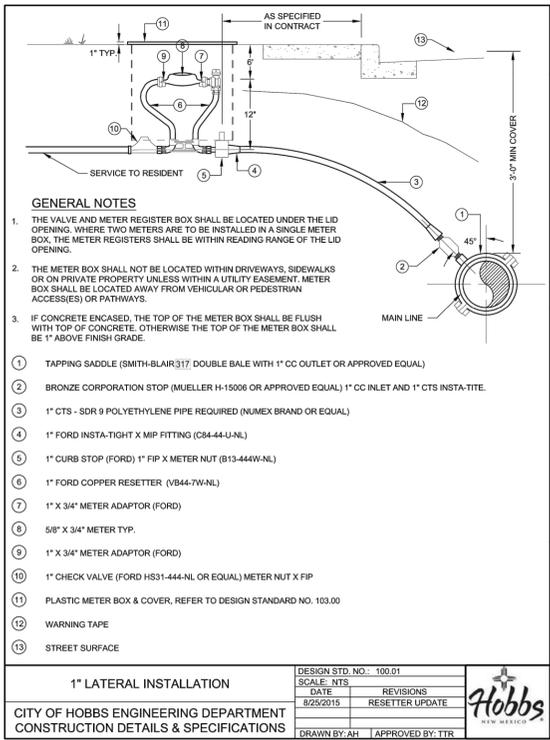
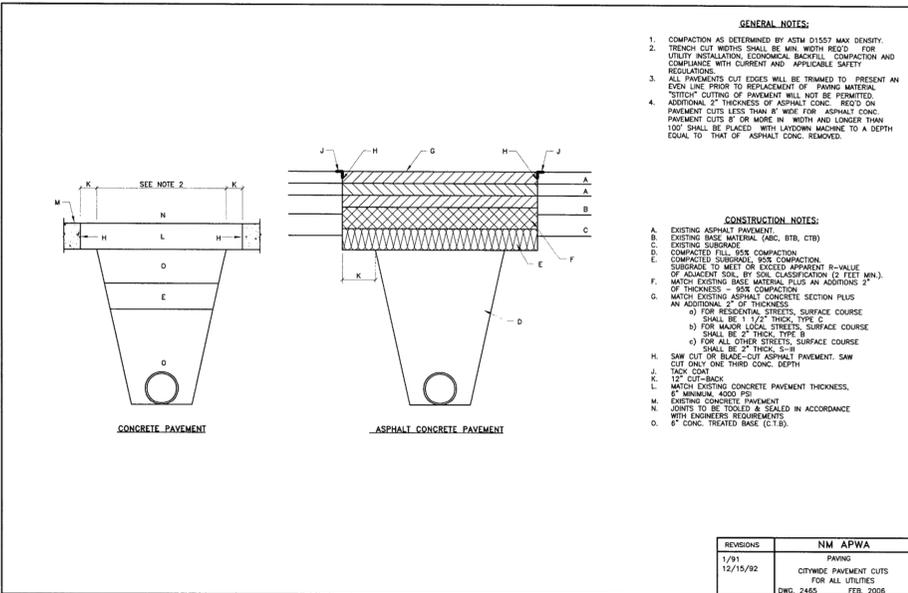
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**AZOTEA SUBDIVISION  
INFRASTRUCTURE IMPROVEMENTS**

**UTILITY TRENCH SECTIONS**

SHEET	8 of 13
SET	3-3
DATE	Jul-2022
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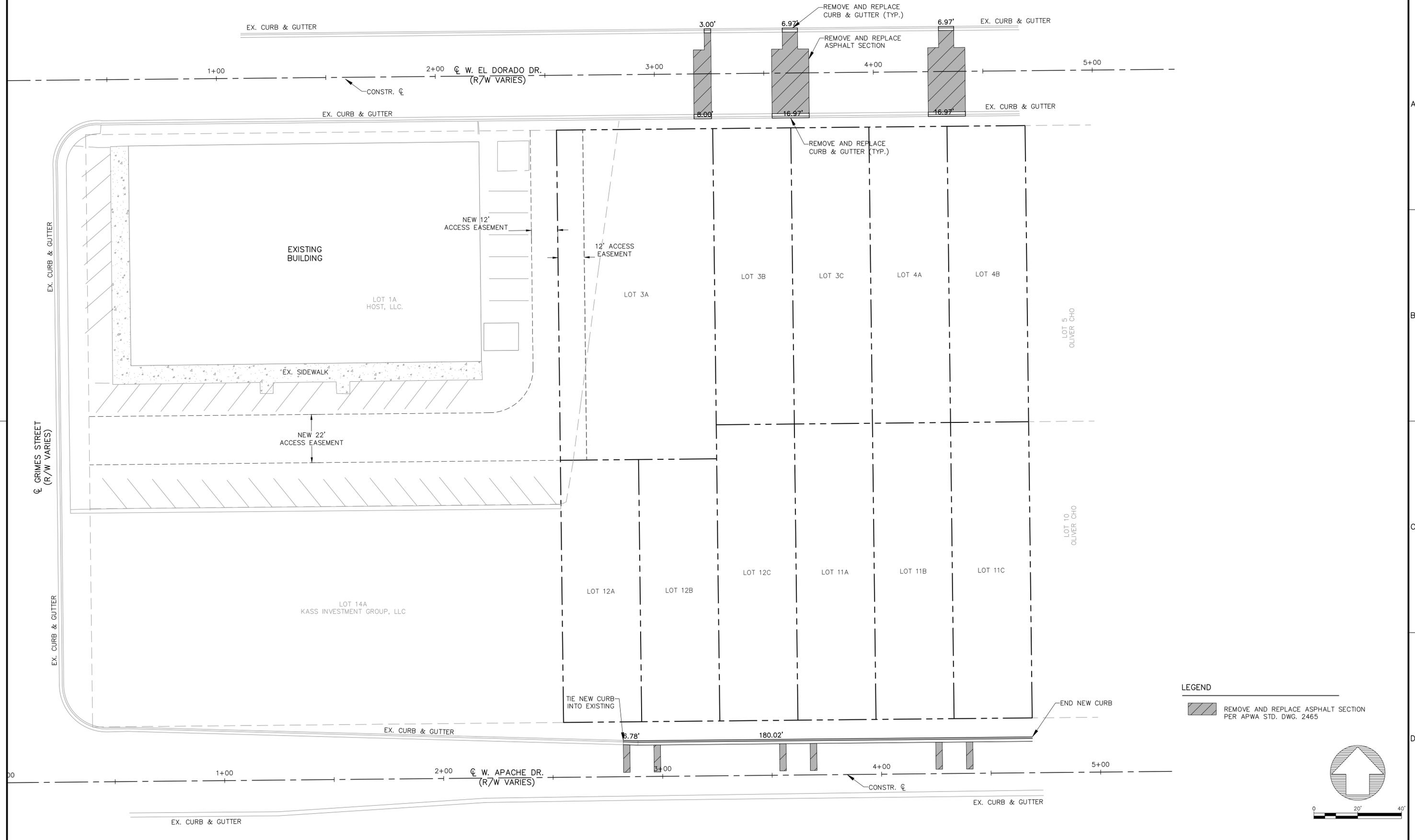
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3201 4th. STREET NW, SUITE B  
Albuquerque, NM 87107  
(505) 352-8930

**CLIENT:**  
**THE PECULIAR PEOPLE, LLC**

**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**  
**UTILITY DETAILS**

SHEET	9	of	13
SET	3-4		
DATE	Jul-2022		
PROJ	22047		

1 2 3 4 5 6



**LEGEND**  
 REMOVE AND REPLACE ASPHALT SECTION PER APWA STD. DWG. 2465

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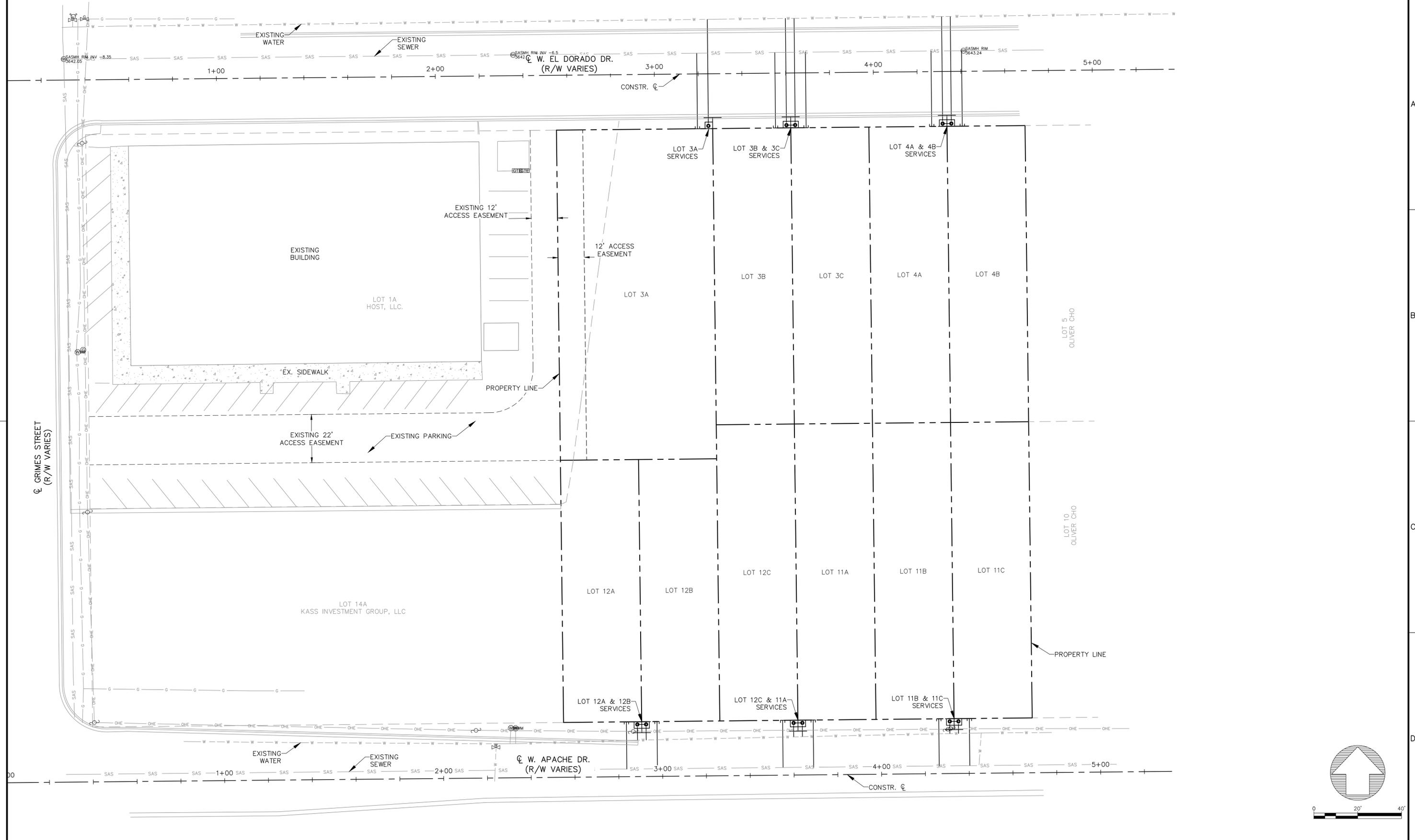
DESIGNED:	RJF				
DRAWN:	JB				
CHECKED:	RJF				
APPROVED:					
	NO.	DATE	BY	REVISION	

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 ENGINEERING | SURVEYING  
 3201 4th STREET NW, SUITE B  
 Albuquerque, NM 87107  
 (505) 352-8930

CLIENT:  
**THE PECULIAR PEOPLE, LLC**

**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**  
  
**COMPOSITE PAVING PLAN**

SHEET	10 of 13
SET	4-0
DATE	Jul-2022
PROJ	22047



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DESIGNED:	RJF				
DRAWN:	JB				
CHECKED:	RJF				
APPROVED:					
	NO.	DATE	BY	REVISION	

  
**Fierro & Company**  
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 Albuquerque, NM 87107  
 (505) 352-8930

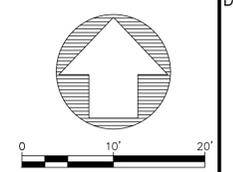
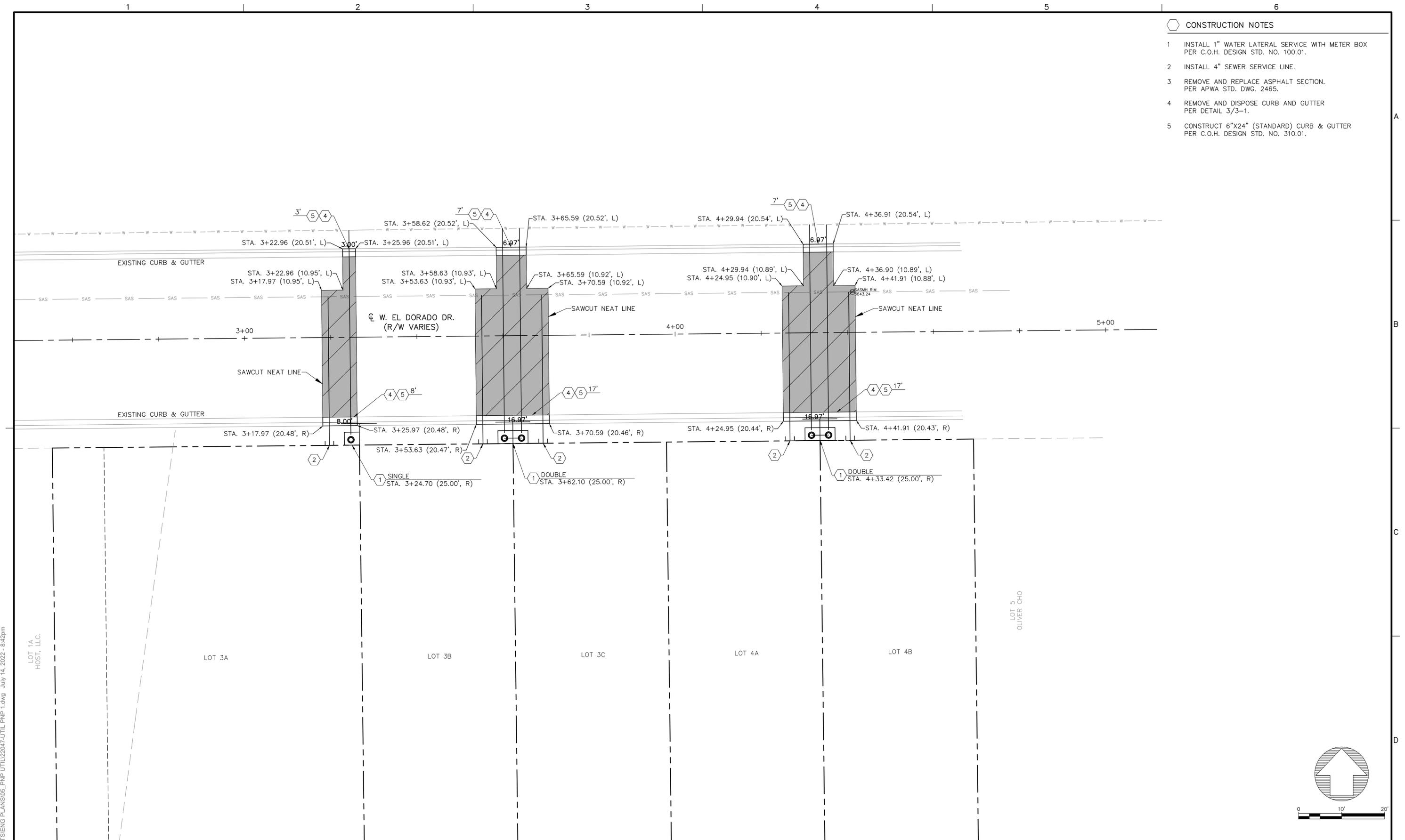
CLIENT:  
**THE PECULIAR PEOPLE, LLC**

**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**  
**OVERALL UTILITY PLAN**

SHEET	11 of 13
SET	5-0
DATE	Jul-2022
PROJ	22047

CONSTRUCTION NOTES

- 1 INSTALL 1" WATER LATERAL SERVICE WITH METER BOX PER C.O.H. DESIGN STD. NO. 100.01.
- 2 INSTALL 4" SEWER SERVICE LINE.
- 3 REMOVE AND REPLACE ASPHALT SECTION. PER APWA STD. DWG. 2465.
- 4 REMOVE AND DISPOSE CURB AND GUTTER PER DETAIL 3/3-1.
- 5 CONSTRUCT 6"x24" (STANDARD) CURB & GUTTER PER C.O.H. DESIGN STD. NO. 310.01.



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DESIGNED:	RJF				
DRAWN:	JB				
CHECKED:	RJF				
APPROVED:					
	NO.	DATE	BY	REVISION	

  
**Fierro & Company**  
 ENGINEERING | SURVEYING  
 3201 4th STREET NW, SUITE B  
 Albuquerque, NM 87107  
 (505) 352-8930

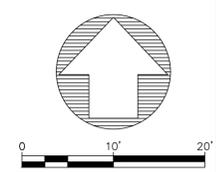
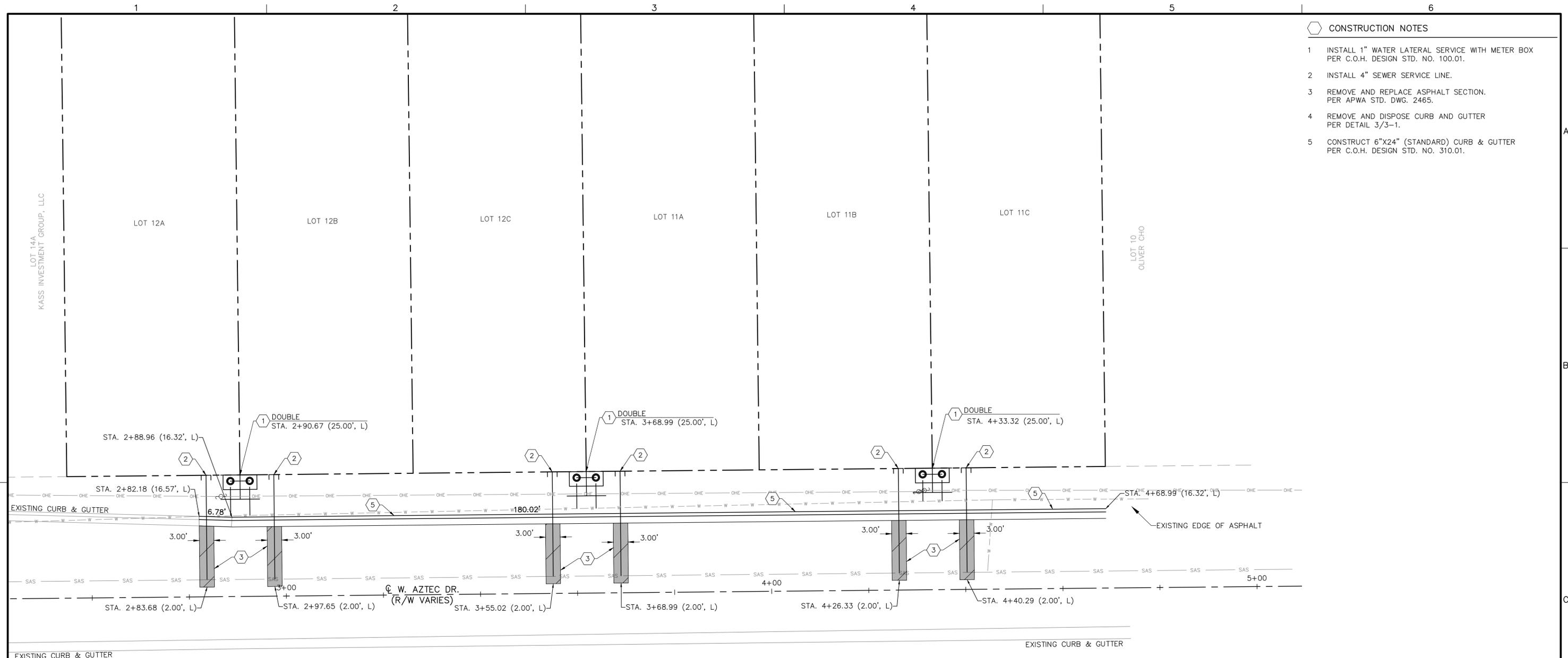
CLIENT:  
**THE PECULIAR PEOPLE, LLC**

**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**  
  
**W. EL DORADO DR.**  
**UTILITY PLAN**

SHEET	12 of 13
SET	5-1
DATE	Jul-2022
PROJ	22047

CONSTRUCTION NOTES

- 1 INSTALL 1" WATER LATERAL SERVICE WITH METER BOX PER C.O.H. DESIGN STD. NO. 100.01.
- 2 INSTALL 4" SEWER SERVICE LINE.
- 3 REMOVE AND REPLACE ASPHALT SECTION. PER APWA STD. DWG. 2465.
- 4 REMOVE AND DISPOSE CURB AND GUTTER PER DETAIL 3/3-1.
- 5 CONSTRUCT 6"X24" (STANDARD) CURB & GUTTER PER C.O.H. DESIGN STD. NO. 310.01.



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DESIGNED:	RJF				
DRAWN:	JB				
CHECKED:	RJF				
APPROVED:					
	NO.	DATE	BY	REVISION	

  
**Fierro & Company**  
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 3201 4th STREET NW, SUITE B  
 Albuquerque, NM 87107  
 (505) 352-8930

CLIENT:  
**THE PECULIAR PEOPLE, LLC**

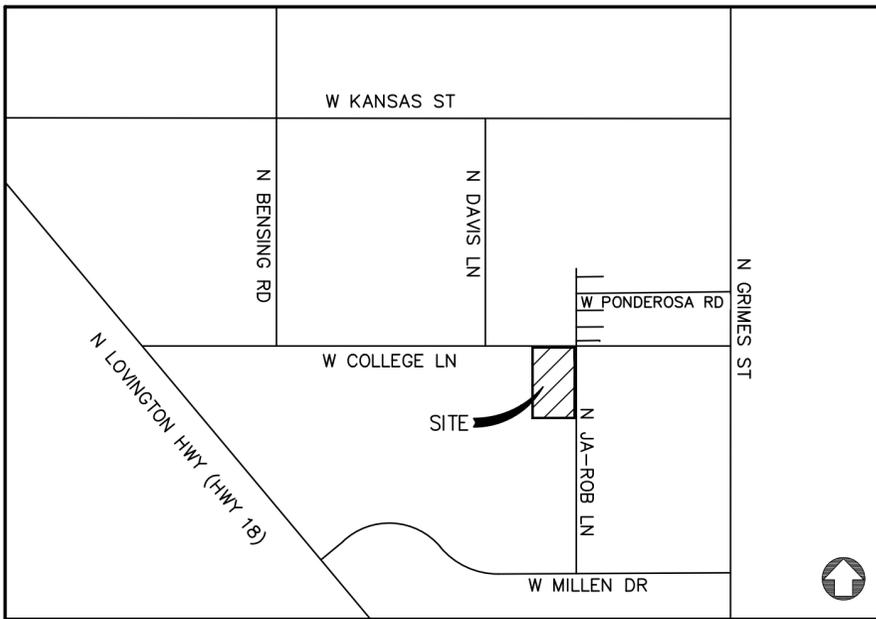
**AZOTEA SUBDIVISION**  
**INFRASTRUCTURE IMPROVEMENTS**  
  
**W. APACHE DR.**  
**UTILITY PLAN**

SHEET	13 of 13
SET	5-2
DATE	Jul-2022
PROJ	22047

**August 16, 2021**  
**Planning Board Regular Meeting**

- 6) Review and Consider NDEY Subdivision, Unit 1 Final Plat Approval, as presented by property owner Maria Ndey.**

PLAT OF  
 NDEY SUBDIVISION, UNIT I  
 SECTION 9, TOWNSHIP 18 SOUTH,  
 RANGE 38 EAST, N.M.P.M.  
 CITY OF HOBBS  
 LEA COUNTY, NEW MEXICO  
 JUNE 2022



VICINITY MAP  
 N.T.S.

**DESCRIPTION**

TRACT FIVE (5) OF THE LYNCH SUBDIVISION TO LEA COUNTY, NEW MEXICO, AS REFERENCED ON THAT CERTAIN PLAT FILED JANUARY 23, 2015, IN BOOK 1939, PAGE 158, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO

**FREE CONSENT AND DEDICATION**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREET AND PUBLIC RIGHT-OF-WAYS SHOWN HEREON TO THE CITY OF HOBBS IN FEE SIMPLE WITH WARRANTY COVENANTS.

SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT ALL EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: MARIA NDEY

MARIA NDEY \_\_\_\_\_ DATE \_\_\_\_\_

**ACKNOWLEDGEMENT:**

STATE OF \_\_\_\_\_ )  
 )SS.  
 COUNTY OF \_\_\_\_\_ )  
 ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022, BEFORE ME

PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

NOTARY PUBLIC \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, ROBERT J. FIERRO, NEW MEXICO PROFESSIONAL SURVEYOR NO. 22909, DO HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION; THAT IT ACCURATELY MEETS THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ROBERT J. FIERRO, \_\_\_\_\_ Date \_\_\_\_\_  
 N.M.P.S. No. 22909

**CERTIFICATE OF MUNICIPAL APPROVAL**

I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBS, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FORGOING PLAT OF THE MEADOWS SUBDIVISION, UNIT III, TO THE CITY OF HOBBS, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBS BY RESOLUTION No. \_\_\_\_\_ ON THE \_\_\_\_ OF \_\_\_\_\_, 2022 A.D.

\_\_\_\_\_  
 JAN FLETCHER, CITY CLERK

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 )SS.  
 COUNTY OF LEA )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_DAY OF \_\_\_\_\_, 2022 A.D. BY JAN FLETCHER.

\_\_\_\_\_  
 NOTARY PUBLIC

\_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY THE CITY OF HOBBS PLANNING BOARD:**

THE PLAT, RESTRICTIONS AND DEDICATION APPROVED AND ACCEPTED THE \_\_\_\_DAY OF \_\_\_\_\_, 2022 A.D. BY THE CITY PLANNING BOARD OF HOBBS NEW MEXICO.

\_\_\_\_\_  
 CHAIRMAN: WILLIAM M. HICKS, III

**ACKNOWLEDGMENT**

STATE OF \_\_\_\_\_ )  
 )SS.  
 COUNTY OF \_\_\_\_\_ )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_DAY OF \_\_\_\_\_, 2022, BY WILLIAM M. HICKS.

\_\_\_\_\_  
 NOTARY PUBLIC

\_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_

**NOTES**

1. BASIS OF BEARINGS IS NEW MEXICO STATE PLANE EAST ZONE.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.

**LEGEND**

- FOUND QUARTER CORNER AS NOTED
- FOUND SECTION CORNER AS NOTED
- FOUND 1/2" REBAR UNLESS OTHERWISE NOTED
- SET 18"x1/2" REBAR WITH BLUE PLASTIC CAP MARKED "F&C PS 22909"
- CALCULATED CORNER NOT SET

(N00°00'00"E, 00.00') RECORD BEARING & DISTANCE  
 N00°00'00"E, 00.00' MEASURED BEARING & DISTANCE

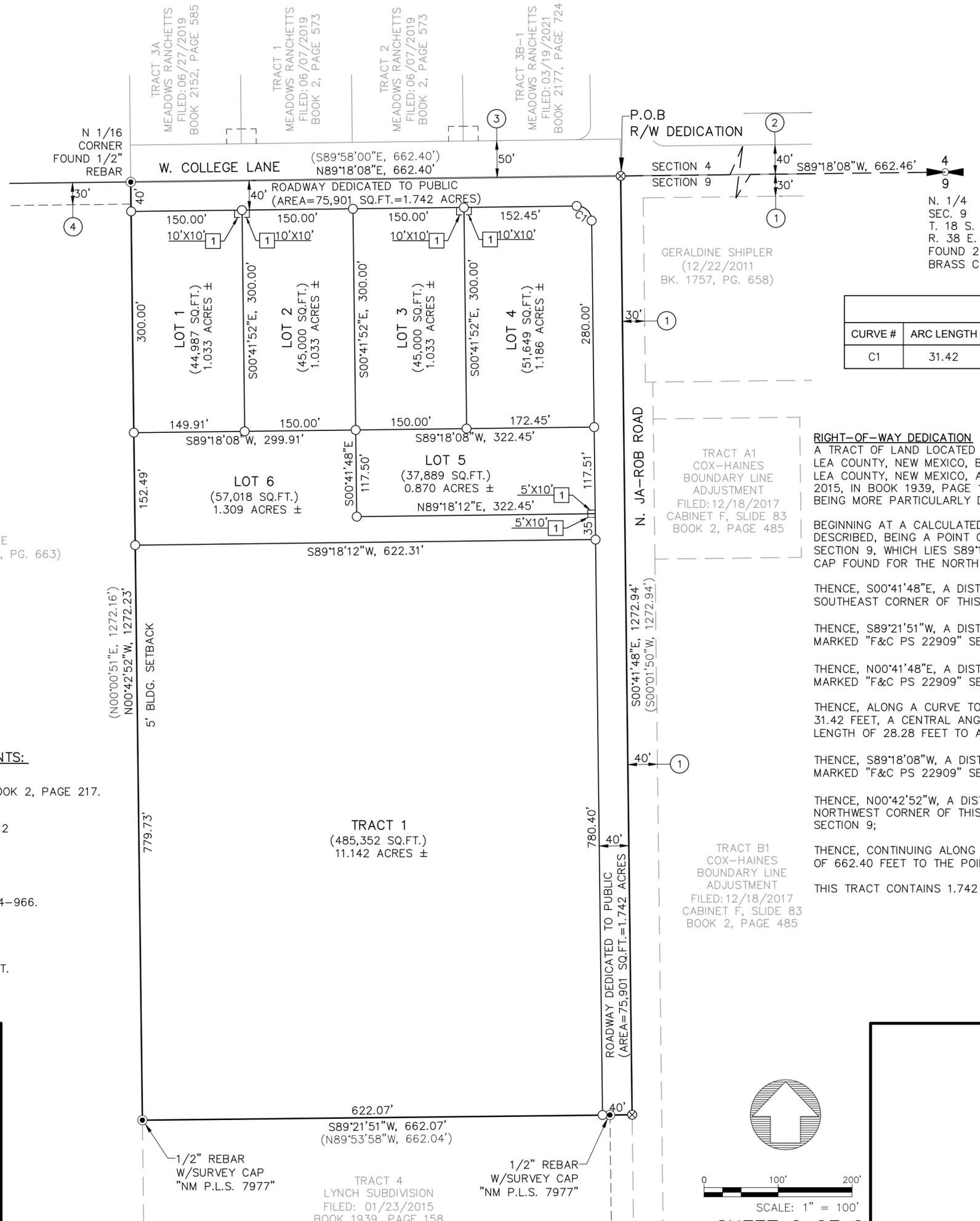
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 ALBUQUERQUE, NM 87107  
 PH 505.352.8930  
 www.fierrocompany.com

STATE OF NEW MEXICO  
 COUNTY OF LEA  
 FILED

\_\_\_\_\_, 2022,  
 AT \_\_\_\_\_, O'CLOCK \_\_\_\_M AND RECORDED IN  
 CABINET \_\_\_\_\_  
 SLIDE \_\_\_\_\_  
 \_\_\_\_\_, LEA COUNTY CLERK  
 BY \_\_\_\_\_ DEPUTY

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PLAT OF  
 NDEY SUBDIVISION, UNIT I  
 SECTION 9, TOWNSHIP 18 SOUTH,  
 RANGE 38 EAST, N.M.P.M.  
 CITY OF HOBBS  
 LEA COUNTY, NEW MEXICO  
 JUNE 2022



CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	31.42	20.00	90°00'04"	N45°41'50"W	28.28

**RIGHT-OF-WAY DEDICATION**  
 A TRACT OF LAND LOCATED IN SECTION 9, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., LEA COUNTY, NEW MEXICO, BEING A PORTION OF TRACT FIVE (5) OF LYNCH SUBDIVISION TO LEA COUNTY, NEW MEXICO, AS REFERENCED ON THAT CERTAIN PLAT FILED JANUARY 23, 2015, IN BOOK 1939, PAGE 158, LEA COUNTY RECORDS, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBE AS FOLLOWS;

BEGINNING AT A CALCULATED CORNER FOR THE NORTHEAST CORNER OF THIS TRACT HEREIN DESCRIBED, BEING A POINT ON THE NORTH LINE OF SAID SECTION 9, WHICH LIES S89°18'08"W, A DISTANCE OF 662.46 FEET FROM A 2-INCH BRASS CAP FOUND FOR THE NORTH QUARTER CORNER OF SAID SECTION 9;

THENCE, S00°41'48"E, A DISTANCE OF 1272.94 FEET TO A CALCULATED CORNER FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE, S89°21'51"W, A DISTANCE OF 40.00 FEET TO A 1/2" REBAR WITH BLUE PLASTIC CAP MARKED "F&C PS 22909" SET FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, N00°41'48"E, A DISTANCE OF 1212.90 FEET TO A 1/2" REBAR WITH BLUE PLASTIC CAP MARKED "F&C PS 22909" SET FOR A CORNER OF THIS TRACT;

THENCE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 20.00 FEET, ARC LENGTH OF 31.42 FEET, A CENTRAL ANGLE OF 90°00'04", A CHORD BEARING OF N45°41'50"W, A CHORD LENGTH OF 28.28 FEET TO A CORNER OF THIS TRACT HEREIN DESCRIBED;

THENCE, S89°18'08"W, A DISTANCE OF 602.45 FEET TO A 1/2" REBAR WITH BLUE PLASTIC CAP MARKED "F&C PS 22909" SET FOR A CORNER OF THIS TRACT;

THENCE, N00°42'52"W, A DISTANCE OF 40.00 FEET TO A 1/2" REBAR FOUND FOR THE NORTHWEST CORNER OF THIS TRACT, ALSO BEING A POINT ON THE NORTH LINE OF SAID SECTION 9;

THENCE, CONTINUING ALONG THE NORTH LINE OF SAID SECTION 9, N89°18'08"E, A DISTANCE OF 662.40 FEET TO THE POINT OF BEGINNING.

THIS TRACT CONTAINS 1.742 ACRES (75,901 SQ.FT.), MORE OR LESS.

BILL E. STONE  
 (09/05/1972, BK. 330, PG. 663)

**EXISTING ROADWAY DEDICATION AND EASEMENTS:**

- ① RIGHT-OF-WAY DEDICATED TO THE PUBLIC  
 FILED: JUNE 12, 2014, CABINET D, SLIDE 147, BOOK 2, PAGE 217.
- ② 40-FOOT ROADWAY DEDICATED TO THE PUBLIC  
 FILED: FEBRUARY 26, 2019, CABINET G, SLIDE 212
- ③ 50-FOOT RIGHT-OF-WAY DEDICATION  
 FILED: JUNE 07, 2019, CABINET F, SLIDE 113
- ④ 30-FOOT ROADWAY EASEMENT  
 FILED: OCTOBER 21, 1998, BOOK 912, PAGES 954-966.

**NEW EASEMENTS**

- ① PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

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TRACT 4  
 LYNCH SUBDIVISION  
 FILED: 01/23/2015  
 BOOK 1939, PAGE 158

TRACT B1  
 COX-HAINES  
 BOUNDARY LINE  
 ADJUSTMENT  
 FILED: 12/18/2017  
 CABINET F, SLIDE 83  
 BOOK 2, PAGE 485

SCALE: 1" = 100'  
 SHEET 2 OF 2

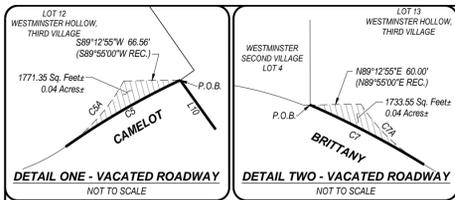
STATE OF NEW MEXICO  
 COUNTY OF LEA  
 FILED  
 \_\_\_\_\_, 2022,  
 AT \_\_\_\_\_, O'CLOCK \_\_\_M AND RECORDED IN  
 CABINET \_\_\_\_\_  
 SLIDE \_\_\_\_\_  
 \_\_\_\_\_, LEA COUNTY CLERK  
 BY \_\_\_\_\_ DEPUTY

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**August 16, 2021**  
**Planning Board Regular Meeting**

- 7) **Review and Consider Final Plat Approval Westminster Hollow, Third Village, as presented by property owner, Del Norte Heights, Inc..**

PRELIMINARY-08 NOVEMBER 2021  
REVISED AUGUST 08, 2022  
(29 OCTOBER 2021)(25 OCTOBER 2021)(17 OCTOBER 2021)(13 OCTOBER 2021)(25 SEPTEMBER 2021)(JULY 22, 2021)  
This document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document.



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C5A	225.00'	104.03'	26°29'28"	S41°34'01"W	103.11'
C5	899.12'	156.63'	09°58'53"	S89°56'22"E	156.44'
C7A	225.00'	101.47'	25°52'44"	S44°52'07"E	100.02'
C7	1073.55'	151.87'	06°06'20"	N82°28'05"W	151.75'

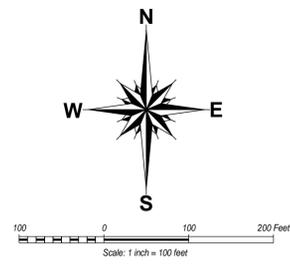
**DETAIL ONE: DESCRIPTION OF ROADWAY TO BE VACATED:**  
A TRACT OF LAND FOR A ROADWAY VACATION WITHIN THE WESTMINSTER HOLLOW, FIRST VILLAGE SUBDIVISION TO THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY NORTHEAST CORNER OF THE WESTMINSTER HOLLOW, FIRST VILLAGE, THENCE S89°12'55"W A DISTANCE OF 66.66 FEET TO THE MOST WESTERLY NORTHEAST CORNER OF SAID FIRST VILLAGE AND THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 225.00 FEET AND A CENTRAL ANGLE OF 26°29'28"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 104.03 FEET TO A CORNER OF THIS TRACT AND A POINT ON THE WEST RIGHT-OF-WAY LINE OF CAMELOT AND THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 899.12 FEET AND A CENTRAL ANGLE OF 09°58'53"; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 156.63 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 0.04 ACRES MORE OR LESS.

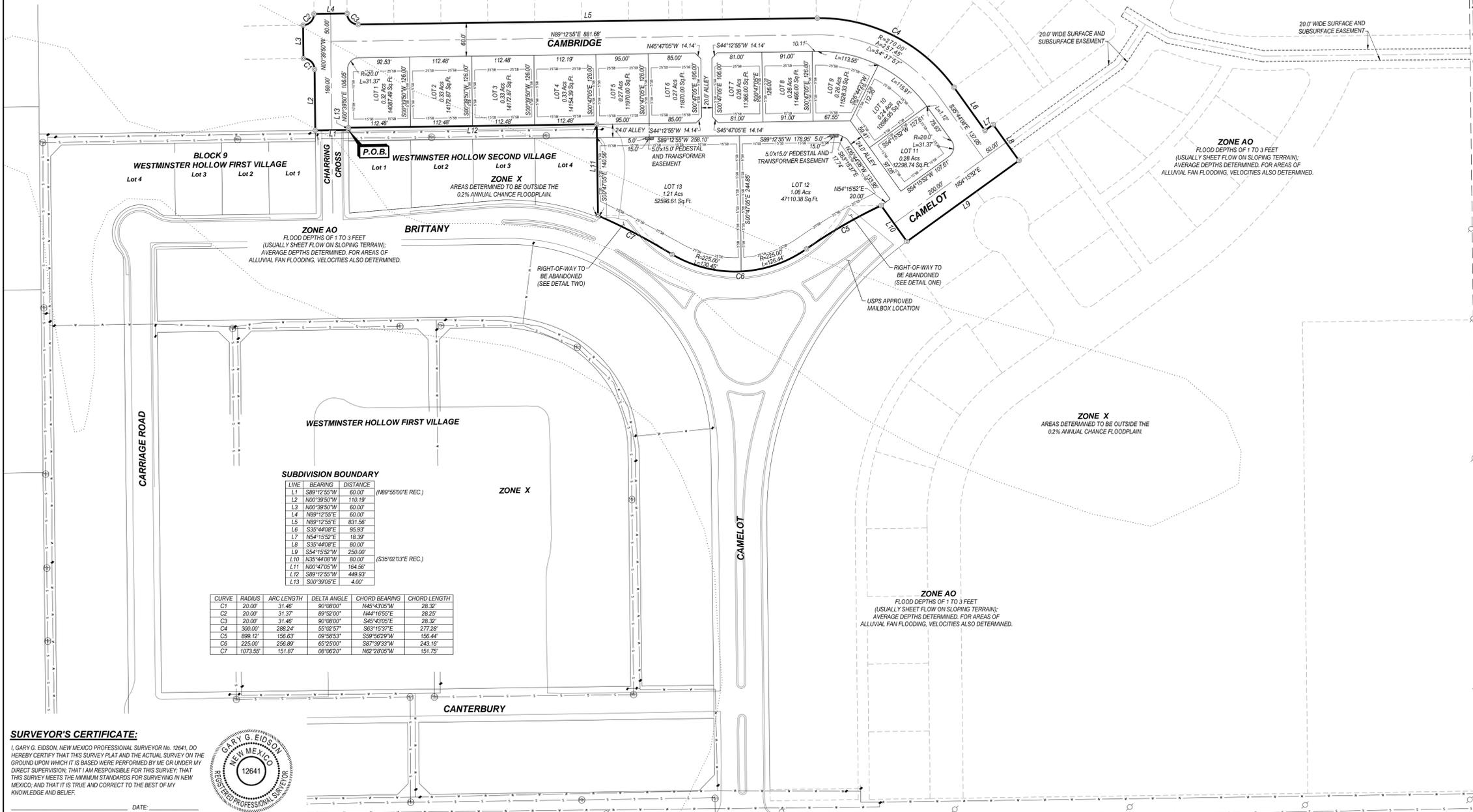
**DETAIL TWO: DESCRIPTION OF ROADWAY TO BE VACATED:**  
A TRACT OF LAND FOR A ROADWAY VACATION WITHIN WESTMINSTER HOLLOW, FIRST VILLAGE SUBDIVISION TO THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 4 OF THE WESTMINSTER HOLLOW, SECOND VILLAGE SUBDIVISION TO THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, THENCE N89°12'55"E A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 225.00 FEET AND A CENTRAL ANGLE OF 25°52'44"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 101.47 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF BRITANNY; THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1073.55 FEET AND A CENTRAL ANGLE OF 06°06'20" A DISTANCE OF 151.87 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 0.04 ACRES MORE OR LESS.

**NOTES:**  
1) BEARINGS SHOWN HEREON ARE MERCATOR GRID AND CONFORM TO THE NEW MEXICO COORDINATE SYSTEM "NEW MEXICO EAST ZONE" NORTH AMERICAN DATUM 1983. DISTANCES ARE SURFACE VALUES. BEARINGS SHOWN IN PARENTHESES ARE BASED ON WESTMINSTER HOLLOW FIRST VILLAGE, FILED MARCH 11, 1982, IN BOOK 398, PAGE 891 AND WESTMINSTER HOLLOW SECOND VILLAGE, FILED MARCH 14, 2005, IN BOOK 1361, PAGE 718.  
2) LOT SIDE SETBACK LINES ARE 5.0 FEET EXCEPT ALONG RIGHTS-OF-WAY, WHERE 10.00 FOOT SIDE SETBACK LINES APPLY; LOT REAR SETBACK LINES ARE 15.0 FEET; LOT FRONT SETBACK LINES ARE 25.00 FEET.  
3) WITH RESPECT TO THE FLOOD INSURANCE RATE MAP FOR LEA COUNTY, NEW MEXICO AND INCORPORATED AREAS, PANEL 1770 OF 2150, MAP No. 55025C11700, EFFECTIVE DATE: DECEMBER 16, 2008, THE ABOVE DESCRIBED PROPERTY LOCATED IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBES, LEA COUNTY, NEW MEXICO, IS LOCATED IN ZONE X, BEING DEFINED AS AREAS WITH FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED, FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED, AND ZONE X, BEING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



- LEGEND:**
- DENOTES 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641"
  - DENOTES FOUND CORNER, AS NOTED
  - DENOTES CENTERLINE OF ROADWAY
  - DENOTES EXISTING SEWER LINES
  - DENOTES EXISTING WATER LINES
  - DENOTES EXISTING ELECTRIC LINES WITH UTILITY POLES
  - DENOTES FLOOD INSURANCE RATE MAP DESIGNATION BOUNDARY
  - DENOTES 5.0 FT. BUILDING SETBACK LINE
  - DENOTES 10.0 FT. BUILDING SETBACK LINE
  - DENOTES 15.0 FT. BUILDING SETBACK LINE
  - DENOTES 25.0 FT. BUILDING SETBACK LINE



**SUBDIVISION BOUNDARY**

LINE	BEARING	DISTANCE
L1	S89°12'55"W	60.00'
L2	N00°39'50"W	110.19'
L3	N00°39'50"W	60.00'
L4	N89°12'55"E	60.00'
L5	N89°12'55"E	831.56'
L6	S35°44'08"E	95.93'
L7	N54°15'32"E	18.39'
L8	S35°44'08"E	80.00'
L9	S54°15'32"W	250.00'
L10	N35°44'08"W	80.00'
L11	N00°47'05"W	164.56'
L12	S89°12'55"W	449.93'
L13	S00°39'50"E	4.00'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.46'	90°08'00"	N45°43'05"W	28.32'
C2	20.00'	31.37'	89°52'00"	N44°16'55"E	28.25'
C3	20.00'	31.46'	90°08'00"	S45°43'05"W	28.32'
C4	300.00'	288.24'	55°02'57"	S63°15'37"E	277.28'
C5	899.12'	156.63'	09°58'53"	S89°56'22"E	156.44'
C6	225.00'	101.47'	25°52'44"	S44°52'07"E	100.02'
C7	1073.55'	151.87'	06°06'20"	N82°28'05"W	151.75'

**SURVEYOR'S CERTIFICATE:**  
I, GARY G. EIDSON, NEW MEXICO PROFESSIONAL SURVEYOR No. 12641, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



PROVIDING SURVEYING SERVICES SINCE 1946  
**JOHN WEST SURVEYING COMPANY**  
412 N. DAL PASO HOBBES, N.M. 87240  
(575) 393-3117 www.jwsc.biz  
TBPLS# 10021000

**WESTMINSTER HOLLOW, THIRD VILLAGE  
TO THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO**  
LOCATED IN THE IN THE SOUTHEAST QUARTER OF SECTION 9,  
TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., CITY OF HOBBES,  
LEA COUNTY, NEW MEXICO

THE FOREGOING SUBDIVISION OF A PORTION OF A TRACT OF LAND AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED IN BOOK 512, PAGE 516, SITUATED WITHIN THE CORPORATE BOUNDARIES OF THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 18 SOUTH, RANGE 38 EAST, N.M.P.M., AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR THE NORTHWEST CORNER OF WESTMINSTER HOLLOW SECOND VILLAGE TO THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, THENCE S89°12'55"W A DISTANCE OF 60.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE N00°39'50"W A DISTANCE OF 110.19 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT AND THE BEGINNING OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 225.00 FEET AND A CENTRAL ANGLE OF 25°52'44"; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 101.47 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE N89°12'55"E A DISTANCE OF 60.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE S35°44'08"E A DISTANCE OF 95.93 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE N54°15'32"E A DISTANCE OF 18.39 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE S35°44'08"E A DISTANCE OF 80.00 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE N00°47'05"W ALONG THE EAST LINE OF LOT 4, WESTMINSTER HOLLOW SECOND VILLAGE A DISTANCE OF 164.56 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE S89°12'55"W A DISTANCE OF 449.93 FEET TO A 1/2" STEEL ROD WITH CAP MARKED "JWSC PS 12641" SET FOR A CORNER OF THIS TRACT; THENCE S00°39'50"E A DISTANCE OF 4.00 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINING 8.39 ACRES MORE OR LESS.

SAID PROPERTY IS BEING SUBDIVIDED AS THE SAME APPEARS HEREON, WITH ALL RIGHTS-OF-WAY AS SHOWN BEING DEDICATED TO A PUBLIC, COMPRISING WESTMINSTER HOLLOW, THIRD VILLAGE, TO THE CITY OF HOBBES, WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETORS THEREOF, NOTICE IS HEREBY GIVEN THAT THERE HAS BEEN FILED IN THE OFFICE OF THE COUNTY CLERK OF LEA COUNTY, NEW MEXICO, CERTAIN RESTRICTIVE COVENANTS APPLICABLE TO THE ABOVE DESCRIBED PROPERTY, WHICH SAID COVENANTS ARE RECORDED ON PAGE \_\_\_\_\_ OF BOOK \_\_\_\_\_ MISCELLANEOUS RECORDS OF SAID COUNTY.

DEAN ATLEE SNYDER III, PRESIDENT, DEL NORTE HEIGHTS, INC.      MADELINE MANN, SECRETARY/TREASURER, DEL NORTE HEIGHTS, INC.

**ACKNOWLEDGMENT:**  
STATE OF NEW MEXICO  
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.,  
BY DEAN ATLEE SNYDER III, PRESIDENT, DEL NORTE HEIGHTS, INC.

NOTARY PUBLIC

**ACKNOWLEDGMENT:**  
STATE OF NEW MEXICO  
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.,  
BY MADELINE MANN, SECRETARY/TREASURER, DEL NORTE HEIGHTS, INC.

NOTARY PUBLIC

**CERTIFICATE OF MUNICIPAL APPROVAL:**  
I, JAN FLETCHER, THE DULY APPOINTED AND ACTING CITY CLERK OF THE CITY OF HOBBES, LEA COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE FOREGOING PLAT OF WESTMINSTER HOLLOW, THIRD VILLAGE, WAS APPROVED BY THE COMMISSION OF THE CITY OF HOBBES BY RESOLUTION No. \_\_\_\_\_ ON THE \_\_\_\_\_ OF \_\_\_\_\_, 2022 A.D.

JAN FLETCHER, CITY CLERK

**ACKNOWLEDGMENT:**  
STATE OF NEW MEXICO  
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.,  
BY \_\_\_\_\_, \_\_\_\_\_

NOTARY PUBLIC

**CERTIFICATE OF APPROVAL BY THE CITY PLANNING BOARD:**  
THE PLAT, RESTRICTIONS AND DEDICATION, REVIEWED AND APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., BY THE CITY PLANNING BOARD OF HOBBES, NEW MEXICO.

CHAIRMAN: WILLIAM M. HICKS III

**ACKNOWLEDGMENT:**  
STATE OF NEW MEXICO  
COUNTY OF LEA

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D., BY WILLIAM M. HICKS III.

NOTARY PUBLIC

**VICINITY MAP**  
NOT TO SCALE

Scale: One Inch = One Hundred Feet  
CAD Drafter & Date: DSS - 07/12/2021  
Checked By: JWSC W.O. No.: 21.13.0146  
JWSC File No.: D - 1394  
© 2021 John West Surveying Company  
STATE OF NEW MEXICO  
COUNTY OF LEA - FILED:

**August 16, 2021**  
**Planning Board Regular Meeting**

- 8) Review and Consider Variance Request from MC 15.32.030 - C(2) allowing a new facade sign to be emplaced with a sign face in excess of 144 square feet at 5440 A Street.**



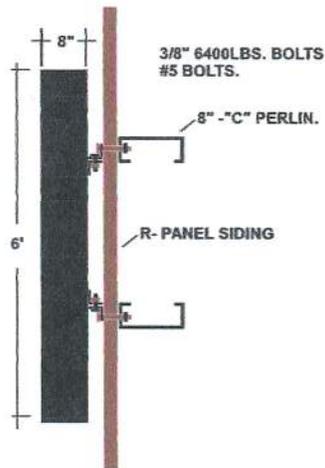
# COASTAL CHEMICAL CO., LLC

A BRENNTAG COMPANY

**5440 N. A STREET  
HOBBS, NM**

## SIDE VIEW

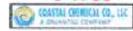
BUILDING SIZE  
24' BY 200'



**5' X 20'**



**6' X 30'**



BUILDING SIZE  
24' BY 200'



AULD SIGN CO.  
575-397-2222

180 square foot.

**6' X 30'**  
BUILDING SIZE  
24' BY 200'



AULD SIGN CO.  
575-397-2222

**8' X 30'**

BUILDING SIZE  
24' BY 200'

AS SEEN FROM  
NEAREST SIDE STREET



AULD SIGN CO.  
575-397-2222

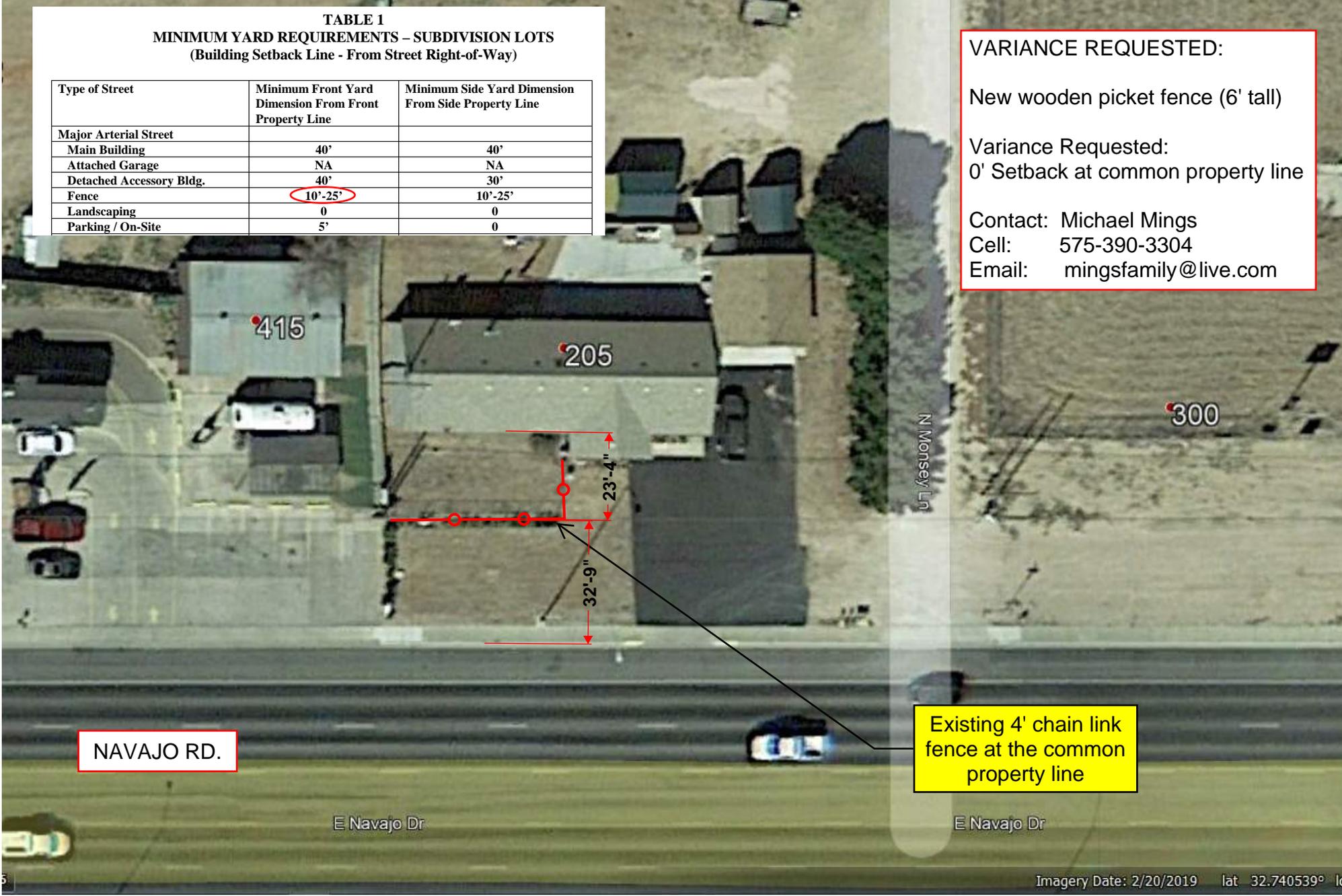
**August 16, 2021**  
**Planning Board Regular Meeting**

- 9) **Review and Consider a front yard fence height variance for 205 E. Navajo. Navajo at this location is classified as a Major Arterial and exceeds the required ROW width of 110'. The COHMTP requires a 25' front yard setback for fences on a Major Arterial, the new Fence is proposed to be a 6' Cedar Picket Fence located at the PL (+/-36' from BOC).**

**TABLE 1**  
**MINIMUM YARD REQUIREMENTS – SUBDIVISION LOTS**  
 (Building Setback Line - From Street Right-of-Way)

Type of Street	Minimum Front Yard Dimension From Front Property Line	Minimum Side Yard Dimension From Side Property Line
<b>Major Arterial Street</b>		
Main Building	40'	40'
Attached Garage	NA	NA
Detached Accessory Bldg.	40'	30'
Fence	10'-25'	10'-25'
Landscaping	0	0
Parking / On-Site	5'	0

**VARIANCE REQUESTED:**  
 New wooden picket fence (6' tall)  
 Variance Requested:  
 0' Setback at common property line  
 Contact: Michael Mings  
 Cell: 575-390-3304  
 Email: mingsfamily@live.com



NAVAJO RD.

Existing 4' chain link fence at the common property line

**August 16, 2021**  
**Planning Board Regular Meeting**

**DISCUSSION ITEMS**

- 10) Review proposed Ordinance to prohibit on street parking of commercial vehicles.

**CLASS 1** 6,000 lbs or less

MINIVAN



CARGO VAN



SUV



PICKUP TRUCK

**CLASS 2** 6,001 to 10,000 lbs

MINIVAN



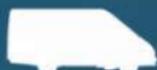
CARGO VAN



FULL-SIZE PICKUP



STEP VAN

**CLASS 3** 10,001 to 14,000 lbs

WALK-IN



BOX TRUCK



CITY DELIVERY



HEAVY-DUTY PICKUP

**CLASS 4** 14,001 to 16,000 lbs

LARGE WALK-IN



BOX TRUCK



CITY DELIVERY

**CLASS 5** 16,001 to 19,500 lbs

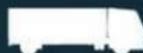
BUCKET TRUCK



LARGE WALK-IN



CITY DELIVERY

**CLASS 6** 19,501 to 26,000 lbs

BEVERAGE TRUCK



SINGLE-AXLE



SCHOOL BUS



RACK TRUCK

**CLASS 7** 26,001 to 33,000 lbs

REFUSE



FURNITURE



CITY TRANSIT BUS



TRUCK TRACTOR

**CLASS 8** 33,001 to REALLY HUGE

CEMENT TRUCK



TRUCK TRACTOR



DUMP TRUCK



SLEEPER CAB

# Truck classification

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**Truck classifications** are typically based upon the maximum loaded weight of the truck (typically using the gross vehicle weight rating (GVWR) and sometimes also the gross trailer weight rating (GTWR), and can vary among jurisdictions.

## Contents

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### United States

- Table of US GVWR classifications

- Notes on weight classes

### Canada

### European Union

### List of truck types

### Gallery

### See also

### References

### External links

## United States

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In the United States, commercial truck classification is determined based on the vehicle's gross vehicle weight rating (GVWR). The classes range from 1–8.<sup>[1][2]</sup> Trucks are also classified more broadly by the Department of Transportation's Federal Highway Administration (FHWA), which groups classes 1–3 as *light duty*, 4–6 as *medium duty*, and 7–8 as *heavy duty* and a Commercial drivers license is generally required.<sup>[1][3][4][5]</sup> The United States Environmental Protection Agency has a separate system of emissions classifications for trucks.<sup>[1][6]</sup> The United States Census Bureau also assigned classifications in its now-discontinued Vehicle Inventory and Use Survey (VIUS) (formerly Truck Inventory and Use Survey (TIUS)).<sup>[7]</sup>

### Table of US GVWR classifications

US truck class	Duty classification	Weight limit <sup>[1][8]</sup>	Examples
Class 1	Light truck	0–6,000 pounds (0–2,722 kg)	<u>Dodge Dakota</u> , <u>Chevrolet Colorado/GMC Canyon</u> , <u>Toyota Tacoma</u> , <u>Nissan Frontier</u> , <u>Ford Ranger</u> <sup>[9]</sup>
Class 2	Light truck	6,001–10,000 pounds (2,722–4,536 kg)	<u>Ram 1500</u> , <u>Chevrolet Silverado 1500</u> , <u>Ford F-150</u>
Class 3	Light truck	10,001–14,000 pounds (4,536–6,350 kg)	<u>Ram 3500</u> , <u>GMC Sierra 3500</u> , <b>Ford E-350</b> , <u>Ford F-350</u> , <u>Hummer H1</u>
Class 4	Medium truck	14,001–16,000 pounds (6,351–7,257 kg)	<u>Ram 4500</u> , <u>GMC 4500</u> , <u>Ford E-450</u> , <u>Ford F-450</u> <sup>[9]</sup> , <u>HINO 155 COE</u> <sup>[10]</sup>
Class 5	Medium truck	16,001–19,500 pounds (7,258–8,845 kg)	<u>Ram 5500</u> , <u>GMC 5500</u> , <u>Ford F-550</u> , <u>Peterbilt 325</u> , <u>International TerraStar</u> <sup>[11]</sup> , <u>HINO 195 COE</u> <sup>[12]</sup>
Class 6	Medium truck	19,501–26,000 pounds (8,846–11,793 kg)	<u>Chevrolet Kodiak C6500</u> , <u>Ford F-650</u> , <u>Peterbilt 330</u> , <u>International Durastar</u> <sup>[13]</sup> , <u>HINO 268 &amp; 268A</u> <sup>[14]</sup>
Class 7	Heavy truck	26,001–33,000 pounds (11,794–14,969 kg)	<u>Autocar ACMD</u> , <u>GMC C7500</u> , <u>Peterbilt 220 &amp; 337</u> , <u>Ford F-750</u> <sup>[15]</sup> , <u>HINO 338</u> <sup>[16]</sup>
Class 8	Heavy truck	33,001 pounds (14,969 kg)+	<u>Autocar ACX</u> , <u>International WorkStar</u> , <u>Kenworth T600</u> , <u>Kenworth T660</u> , <u>Kenworth T680</u> , <u>Peterbilt 579</u> , <u>Peterbilt 389</u> <sup>[17]</sup> - <u>Semi-trailer trucks</u> fall into this category
Class 9	Super-heavy / special duty truck	33,001 pounds (14,969 kg)+	Usually class 8 truck with special duty characteristics, e.g. - <u>Autocar ACX 12x6</u> , <u>International WorkStar</u> , <u>Western Star 6900 (6900XD or 6900TS)</u> . <sup>[18][19][20][21][22]</sup>

## Notes on weight classes

### Class 2

Class 2 is subdivided into Class 2a (1/2-ton) and Class 2b (3/4-ton), with class 2a being 6,001–8,500 pounds (2,722–3,856 kg), and class 2b being 8,501–10,000 pounds (3,856–4,536 kg). Examples of vehicles in Class 2b include the Ram 2500, Chevrolet Silverado 2500, and the Ford F-250. SUVs in Class 2b include the Ford Excursion and the Chevrolet Suburban 2500. Class 2a is commonly referred to as a light duty truck, with class 2b being the lowest heavy-duty class, also called the light heavy-duty class.<sup>[9][23][24]</sup>

### Medium duty ton rating

When light-duty trucks were first produced in the United States, they were rated by their payload capacity in tons (e.g., 1/2-, 3/4- and 1-ton). Over time, payload capacities for most domestic pickup trucks have increased while the ton titles have stayed the same. **The now-imprecise ton rating is presently used to compare standard sizes, rather than actual capacities.**

This has led to categorizing trucks similarly, even if their payload is different. Therefore, the Toyota Tacoma, Dodge Dakota, Ford Ranger, Honda Ridgeline, Chevrolet S-10, GMC S-15 and Nissan Frontier are called quarter-tons (1/4-ton). The Ford F-150, Chevrolet C10/K10, Chevrolet/GMC 1500, Dodge 1500, Toyota Tundra, and Nissan Titan are half-tons

(1/2-ton). The Ford F-250, Chevrolet C20/K20, Chevrolet/GMC 2500, and Dodge 2500 are three-quarter-tons (3/4-ton). Chevrolet/GMC's 3/4-ton suspension systems were further divided into light and heavy-duty, differentiated by 5-lug and 6 or 8-lug wheel hubs depending on year, respectively. **The Ford F-350, Chevrolet C30/K30, Chevrolet/GMC 3500, and Dodge 3500 are one tons (1-ton).**

Similar schemes exist for vans and SUVs (e.g. a 1-ton Dodge Van or a 1/2-ton GMC Suburban), medium duty trucks (e.g. the Ford 1 1/2-ton F-450) and some military vehicles, like the ubiquitous deuce-and-a-half.

### Class 7

**Vehicles in Class 7 and above require a Class-B commercial driver's license (CDL) to operate in the United States.**

### Class 8

The Class 8 truck gross vehicle weight rating (GVWR) is a vehicle with a GVWR exceeding 33 000 lb (14 969 kg).<sup>[1][25]</sup> These include tractor trailer tractors as well as single-unit dump trucks of a GVWR over 33,000 lb; such trucks typically have 3 or more axles. The typical 5-axle tractor-trailer combination, also called a "semi" or "18-wheeler", is a Class 8 vehicle. Standard trailers vary in length from 8' containers to 57' van trailers, with the most common length being the 53' trailer. Specialized trailers for oversized loads can be considerably longer. Commercial operation of a Class 8 vehicle in the United States requires either a Class-B CDL for non-combination vehicles, or a Class-A CDL for combination vehicles (tractor-trailers).

The practical gross vehicle weight limit in the USA for Class 8 trucks is determined by per-axle weight limits set by the Federal Bridge Gross Weight Formula on interstate highways. Longer 18-wheelers can weigh up to 80,000 lbs. In most states, exceptions to these limits can be made for an Oversize load but they require special permits and handling on a designated route.

### Class 9/Super heavy duty

Usually classifies a heavy, special duty Class 8 truck. For example the Western Star 6900 is designed for off-highway vocations including logging, mining, and other similar applications.

## Canada

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Vehicle classifications vary among provinces in Canada, due to "differences in size and weight regulations, economic activity, physical environment, and other issues".<sup>[26]:3</sup> While several provinces use their own classification schemes for traffic monitoring, Manitoba, Ontario, Prince Edward Island and Saskatchewan have adopted the 13-class system from the United States' Federal Highway Administration—sometimes with modifications, or in Ontario's case, for limited purposes.<sup>[26]:3–4</sup> British Columbia and Ontario also distinguish between short- and long-combination trucks.<sup>[26]:3–4</sup> In accident reporting, eight jurisdictions subdivide trucks by GVWR into light and heavy classes at approximately 4 500 kg 9 921 lb.<sup>[26]:6</sup>

## European Union

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In the European scheme the licenses are (among others) **B** for cars, **C** for trucks (lorries), **D** for buses, and are limited by the GVWR.

Divides into two types:

1. appending a number to the class denotes the "light" versions of said class.
2. appending the letter E allows for larger trailers (GTWR).

**Class B** permits the use of vehicles with GVWRs of not more than 3 500 kg and a trailer with GTWRs not exceeding 750 kg, or a trailer above said limit, if the gross weight of car and trailer combined does not exceed 3 500 kg (or 4 250 kg after a theoretical and practical course of 7 hours). Such vehicles are also commonly known as light commercial vehicles (LCVs), and include the Ford Transit, Mercedes-Benz Sprinter and Fiat Ducato.

**Class BE** allows for trailers up to 3 500 kg GTWR while driving a class B vehicle.

**Class C1** raises the GVWR limit to 7 500 kg and a trailer of GTWR not exceeding 750 kg.

**Class C** removes the GVWR limit, but the GTWR limit for the trailer of 750 kg stays.

**Class C1E** allows for a class B or C1 vehicle and a trailer of more than 750 kg GTWR, if the combined gross weight does not exceed 12 000 kg.

**Class CE** removes the trailers GTWR limit while driving a Class C vehicle.

## List of truck types

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- Truck (Lorry) See List of truck types
  - Box truck
  - Cab forward
  - Chassis cab
  - Conversion van
  - Flatbed truck
  - Logging truck
  - Panel van
  - Platform truck
  - Pickup truck
  - Sport utility vehicle
  - Tractor unit (Semi tractor)
  - Tow truck
  - Van

## Gallery

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Class 1 Light duty Toyota Tacoma



Class 2 2001 Ford Excursion  
4×4 (GVWR: 8,600 pounds  
(3.9 t))



Class 3 Ford F-350



Class 4 2008 Ford F-450 4×4  
pick-up truck (GVWR: 14,500  
pounds (6.6 t))



Class 5 2005 Chevy Kodiak  
4×4 (GVWR: 17,500 pounds  
(7.9 t))



Class 6 2002 Ford F-650 in front (GVWR: 26 000 lb), 1989 Ford F-600 in back (GVWR: 20,200 pounds (9.2 t))



Class 7 Peterbilt 330 dump truck.



Class 8 Kenworth W900 tractor with spread-axle 48 feet (15 m) refrigerated trailer.



Class 9 Western Star 6900XD tractor.

## See also

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- Car classification
- Corporate Average Fuel Economy (CAFE)
- Commercial vehicle
- Curb weight
- Driver's license
- Gross weight:
  - Gross axle weight rating (GAWR)
  - Gross combined weight rating (GCWR)
  - Gross trailer weight rating (GTWR)
  - Gross vehicle weight rating (GVWR)
- Large goods vehicle
- List of truck types
- Tow hitch
- Trailer
- Vehicle category

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## External links

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- [Reducing CO2 emissions from Heavy-Duty Vehicles](http://ec.europa.eu/clima/policies/transport/vehicles/heavy/index_en.htm) ([http://ec.europa.eu/clima/policies/transport/vehicles/heavy/index\\_en.htm](http://ec.europa.eu/clima/policies/transport/vehicles/heavy/index_en.htm)) (European Union).
  - [Source in german](https://www.help.gv.at/Portal.Node/hlpd/public/content/4/Seite.040150.html) (<https://www.help.gv.at/Portal.Node/hlpd/public/content/4/Seite.040150.html>)
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